



JUNIPER ARTS & CRAFTS
LOT XXX
XXXX S. STREET

GENERAL NOTES

WORKMANSHIP THROUGHOUT SHALL BE OF THE BEST QUALITY OF THE TRADE INVOLVED AND THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF THE VARIOUS TRADES TO EXPEDITE THE JOB IN A SMOOTH AND CONTINUOUS PROCESS.

ALL DETAILS ON "TYPICAL" DETAIL SHEETS MAY OR MAY NOT BE APPLICABLE TO THIS SPECIFIC PLAN SET. IF A DETAIL REFERENCE IS LOCATED IN THE PLANS TREAT ALL APPLICABLE AREAS PER REFERENCED DETAIL

ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE CONTRACT DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK INVOLVED.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO THE
2021 INTERNATIONAL RESIDENTIAL CODE

COMPLIANCE WITH CODES AND ORDINANCES GOVERNING THE WORK SHALL BE MADE AND ENFORCED BY THE GENERAL CONTRACTOR.

NOTE THAT ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.

MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION OF MATERIALS SHALL BE FOLLOWED.

BUILDING INFORMATION

BUILDER	DESTINATION HOMES INC.
OWNER	DESTINATION HOMES INC.
ADDRESS	SEE ADDRESS ABOVE DAYBREAK SOUTH JORDAN, UTAH 84009
ENGINEER	PERIGEE CONSULTING 9089 S 1300 W SUITE 160 WEST JORDAN, UTAH (801) 707-9004

GAS LINES	
WATER HEATER	1
FURNACE	1
RANGE	1
FIREPLACE	1
TOTAL	4

SQUARE FOOTAGE (UNFIN. BASEMENT)	
UNFIN. BASEMENT	1433 SQ. FT.
MAIN FLOOR	1433 SQ. FT.
UPPER FLOOR	1317 SQ. FT.
UNFINISHED GRAND TOTAL	1433 SQ. FT.
GARAGE	714 SQ. FT.
FINISHED GRAND TOTAL	2750 SQ. FT.

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S2.4	TYPICAL STRUCTURAL DETAILS

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DATE
OCTOBER 08, 2025

VERSION 1.0

HOMEBUYER
DESTINATION HOMES

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TITLE
COVER SHEET

A01

GENERAL NOTES

1. THESE DRAWINGS (PLAN SET) INDICATE IN GENERAL THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN INTENT, THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS AND TYPE OF STRUCTURAL, MECHANICAL, AND ELECTRICAL SYSTEMS. THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. AS INDICATED OR DESCRIBED, THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
2. ALL DIMENSIONS ARE IN INCHES AND ANGLES IN DEGREES UNLESS OTHERWISE NOTED.
3. ONLY WRITTEN DIMENSIONS SHALL BE FOLLOWED.
4. THIS PLAN SET MUST ALWAYS BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS AND CONTRACT DOCUMENTS. ANY DISCREPANCY BETWEEN THESE DRAWINGS AND DOCUMENTS SHOULD BE REPORTED TO THE CONSTRUCTION MANAGER FOR CLARIFICATION AND VERIFICATION.
5. ALL SPECIFIC NOTES, INCLUDING KEY NOTES LOCATED ON IDENTIFIED DRAWINGS MUST BE FOLLOWED AND SUPERSEDE ANY GENERAL NOTES LOCATED ON OTHER DRAWINGS.
6. ALL DETAILS ON "TYPICAL" DETAIL SHEETS MAY OR MAY NOT BE APPLICABLE TO THIS SPECIFIC PLAN SET.
7. DETAILS MAY BE LIKE IN KIND TO UNIDENTIFIED APPLICABLE AREAS TREAT THOSE AREAS AS IF THEY ARE SPECIFIED ON THE DRAWING. (EAVES, WINDOWS, ETC.)
8. THE INTERNATIONAL RESIDENTIAL CODE 2021 (IRC 2021) WILL BE APPLIED AND FOLLOWED TO ALL DRAWINGS AND CONSTRUCTION PRACTICES RELATED TO THIS PLAN SET. ANY DISCREPANCIES IN THE DESIGN AND INTENT OF THIS PLAN SET NEED TO BE REPORTED TO THE CONSTRUCTION MANAGER FOR CORRECTION AND ADDITIONAL GUIDANCE.
9. THE ATTACHED "IRC 2021 GUIDE"IDENTIFIES SPECIFIC CHAPTERS AND SECTIONS OF PARTICULAR INTEREST AND CONCERN. ITEMS NOT IDENTIFIED ARE STILL APPLICABLE AND ARE TO BE FOLLOWED.

IRC 2021 GUIDE

BUILDING PLANNING AND CONSTRUCTION

- BUILDING PLANNING, CHAPTER 3

SECTION R302 – FIRE RESISTANT CONSTRUCTION

SECTION R303 – HABITABLE ROOMS – LIGHT VENTILATION AND HEATING

SECTION R305 – HABITABLE ROOMS – CEILING HEIGHT

SECTION R307 – TOILET, BATH, AND SHOWER SPACES

SECTION R308 – GLAZING (WINDOW REQUIREMENTS)

SECTION R309 – GARAGES

SECTION R310 – EMERGENCY ESCAPE AND RESCUE OPENINGS

SECTION R311 – MEANS OF EGRESS

SECTION R312 – GUARDS AND WINDOW FALL PROTECTION

SECTION R314 – SMOKE ALARMS AND HEAT DETECTION

SECTION R315 – CARBON MONOXIDE PROTECTION
- FOUNDATIONS, CHAPTER 4

SECTION R403 – FOOTINGS

SECTION R404 – FOUNDATION AND RETAINING WALLS

SECTION R408 – UNDER FLOOR SPACE
- FLOORS, CHAPTER 5

SECTION R502 – WOOD FLOOR FRAMING

SECTION R503 – FLOOR SHEATHING
- WALL CONSTRUCTION, CHAPTER 6

SECTION R602 – WOOD WALL FRAMING
- WALL COVERING, CHAPTER 7

SECTION R702 – INTERIOR COVERING

SECTION R703 – EXTERIOR COVERING
- ROOF CEILING CONSTRUCTION, CHAPTER 8

SECTION R806 – ROOF VENTILATION

SECTION R807 – ATTIC ACCESS
- ROOF ASSEMBLIES – CHAPTER 9

SECTION R905 – REQUIREMENTS FOR ROOF COVERINGS

ENERGY CONSERVATION

- ENERGY EFFICIENCY, CHAPTER 11

SECTION N1101– GENERAL

MECHANICAL

- GENERAL MECHANICAL SYSTEM REQUIREMENTS, CHAPTER 13

SECTION M1305 – APPLIANCE ACCESS

SECTION M1307 – APPLIANCE INSTALLATION
- HEATING AND COOLING EQUIPMENT AND APPLIANCES

SECTION M1411 – HEATING AND COOLING EQUIPMENT
- CHIMNEYS AND VENTS, CHAPTER 18

SECTION M1801 – GENERAL
- BOILERS AND WATER HEATERS, CHAPTER 20

SECTION M2003 – EXPANSION TANKS

SECTION M2005 – WATER HEATERS

IRC 2021 GUIDE (CONT)

FUEL GAS

- FUEL GAS, CHAPTER 24

SECTION G2401 – GENERAL

SECTION G2407 – COMBUSTION, VENTILATION AND DILUTION AIR

SECTION G2408 – INSTALLATION

SECTION G2420 – SHUTOFF VALVES

SECTION G2439 – CLOTHES DYER EXHAUST

PLUMBING

- GENERAL PLUMBING REQUIREMENTS, CHAPTER 26

SECTION P2603 – STRUCTURAL AND PIPING PROTECTION
- PLUMBING FIXTURES, CHAPTER 27

SECTION P2704 – SLIP–JOINT CONNECTIONS

SECTION P2719 – FLOOR DRAINS

SECTION P2720 –WHIRLPOOL BATHTUBS
- WATER HEATERS, CHAPTER 28

SECTION P2804 – RELIEF VALVES
- WATER AND SUPPLY DISTRIBUTION, CHAPTER 29

SECTION P2903 – WATER SUPPLY SYSTEMS
- SANITARY DRAINAGE, CHAPTER 30

SECTION P3008 – BACKWATER VALVES
- VENTS, CHAPTER 31

SECTION P3103 – VENT TERMINALS

ELECTRICAL

- GENERAL REQUIREMENTS, CHAPTER 34

SECTION E3405 – EQUIPMENT LOCATION AND CLEARANCES
- WIRING METHODS, CHAPTER 38

SECTION E3802 – ABOVE GROUND INSTALLATION REQUIREMENTS

SECTION E3803 – UNDERGROUND INSTALLATION REQUIREMENTS
- POWER AND LIGHTING DISTRIBUTION, CHAPTER 39

SECTION E3901 – RECEPTACLE OUTLETS

E3901.4.2 – ISLAND AND PENINSULAR COUNTERTOP AND WORKSPACES

SECTION E3902 – GROUND FAULT AND ARC FAULT CIRCUIT INTERRUPTER PROTECTION

E3902.20 ARC–FAULT CIRCUIT INTERRUPTER PROTECTION
- DEVICES AND LUMINARIES, CHAPTER 40

SECTION E4002 – RECEPTACLES
- APPLIANCE INSTALLATION, CHAPTER 41

SECTION E4101 – GENERAL

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TITLE
GENERAL NOTES

A02

SITE PLAN

SCALE: 1" = 20'-0"

LOT# 0-000 / DAYBREAK

0,000 SQ. FT.
0.000 ACRES

0000 WEST XXXX XXXXXXXX
SOUTH JORDAN, UT. 84009



SITE PLAN NOTES	
1.	ALL STORM WATER AND DIRT WILL BE KEPT ON SITE DURING CONSTRUCTION UNTIL FINAL LANDSCAPING IS COMPLETE.
2.	THE GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET (5%)
3.	STREET CURB AND GUTTER WILL BE INSPECTED AND CLEANED OF ALL MUD AND DIRT AT THE END OF EVERY DAY.
4.	GRAVEL BAGS TO BE PLACED AND MAINTAINED AROUND ANY STORM DRAIN INLET ADJACENT TO OR IMMEDIATELY DOWNSTREAM FROM THE SITE DURING CONSTRUCTION.
5.	BERMS OR SWALES MAY BE REQUIRED ALONG PROPERTY LINES TO PREVENT STORM WATER FLOW ONTO ADJACENT LOTS FINAL GRADING SHALL BLEND WITH ADJACENT LOTS.
6.	A LINED CONCRETE WASHOUT ARE A MUST BE PROVIDED AT THE SITE FOR ALL CONCRETE WORK. WASHOUT INTO THE FOUNDATION OF ON THE GROUND IS PROHIBITED.
7.	ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12 INCHES PLUS 2%.
8.	GEOTECHNICAL ENGINEER TO DETERMINE FINAL DEPTH OF BASEMENT.
THE GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET (5%)	
FIRE PROTECT ANY PART OF HOUSE THAT ENCROACHES SIDE SETBACKS	

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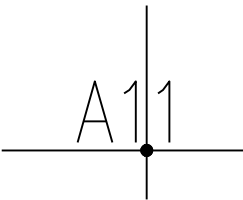
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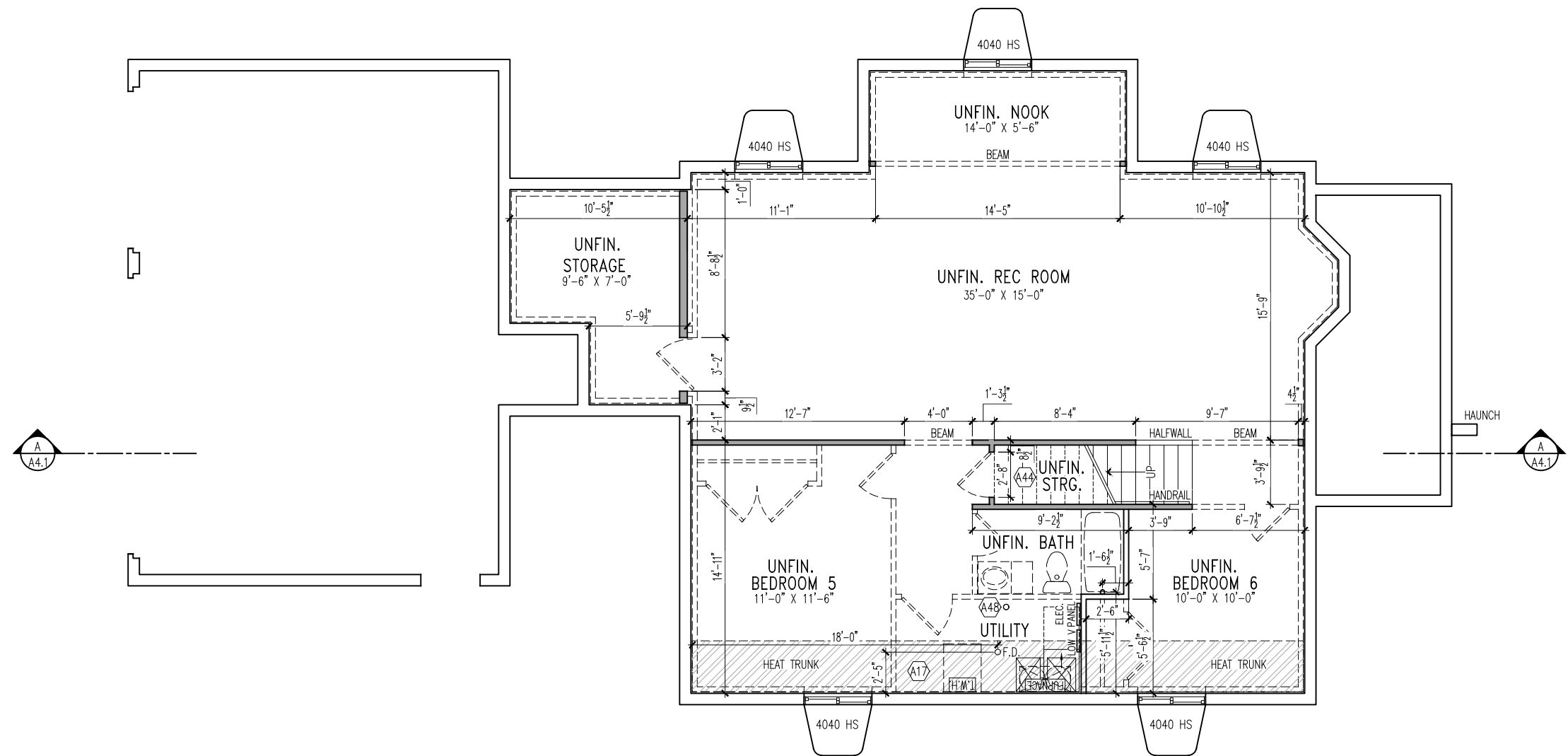
TITLE
SITE PLAN



BASEMENT FLOOR PLAN

SCALE: 1/8" = 1'-0"

9' FOUNDATION WALLS



GENERAL NOTES	
1.	FIRE PROTECT ANYTHING WITHIN 5'-0" OF THE PROPERTY LINE
2.	DOORS TO BE 6" MIN. FROM ADJACENT WALL ON HINGE SIDE OR CENTERED IN SPACE UNLESS NOTED OTHERWISE
3.	ALL EXTERIOR WALLS TO BE 2X6 (INCLUDING WALL BETWEEN HOME & GARAGE)
4.	ALL INTERIOR WALLS TO BE 2X4 UNLESS NOTED OTHERWISE
5.	ALL WINDOWS TO BE INSTALLED PER TYPICAL WINDOW DETAILS

WALL TYPE & PREP LEGEND	
	8" CONCRETE FOUNDATION WALL
	FRAMED BEARING WALL
	FRAMED WALL (NON-BEARING)
	UNFIN. WALL/FUTURE WALL LOCATION
	PREP FOR WALL TILE
	MILLWORK WALL, SEE SELECTIONS
* SEE SELECTIONS FOR SPECIFIC MATERIALS, COLORS, & ADDITIONAL INFO	

ROUGH OPENING HEIGHTS	
	14" DROP DOWN FROM CEILING
	FINISHED OPENING TO MATCH SURROUNDING FINISHED DOOR HEIGHT
	14" DROP DOWN FROM CEILING, CASE & JAMB OPENING
	FINISHED OPENING TO MATCH DOOR HEIGHT, CASE & JAMB OPENING

HATCHING LEGEND	
	FRAMED HEAT TRUNK FOR MECHANICAL DUCTING
	CEILING INSULATION

KEYNOTES	
	LOCATE BACKFLOW PREVENTOR IN MECHANICAL ROOM WITH ADEQUATE CLEARANCE FOR FUTURE ACCESS
	FRAMED HEAT TRUNK TO PROVIDE 42" X 14" MINIMUM CLEAR SPACE FOR MECHANICAL DUCTING
	1/2" GYP. BOARD ON UNDERSIDE OF STAIRS W/ 24" HIGH WALL AT FAR END
	4" SCHEDULE 40 PIPE RUNNING FROM BELOW 4" CONC. SLAB THROUGH THE FLUE CHASE, ATTIC, AND ROOF SHEATHING FOR RADON MITIGATION SYSTEM

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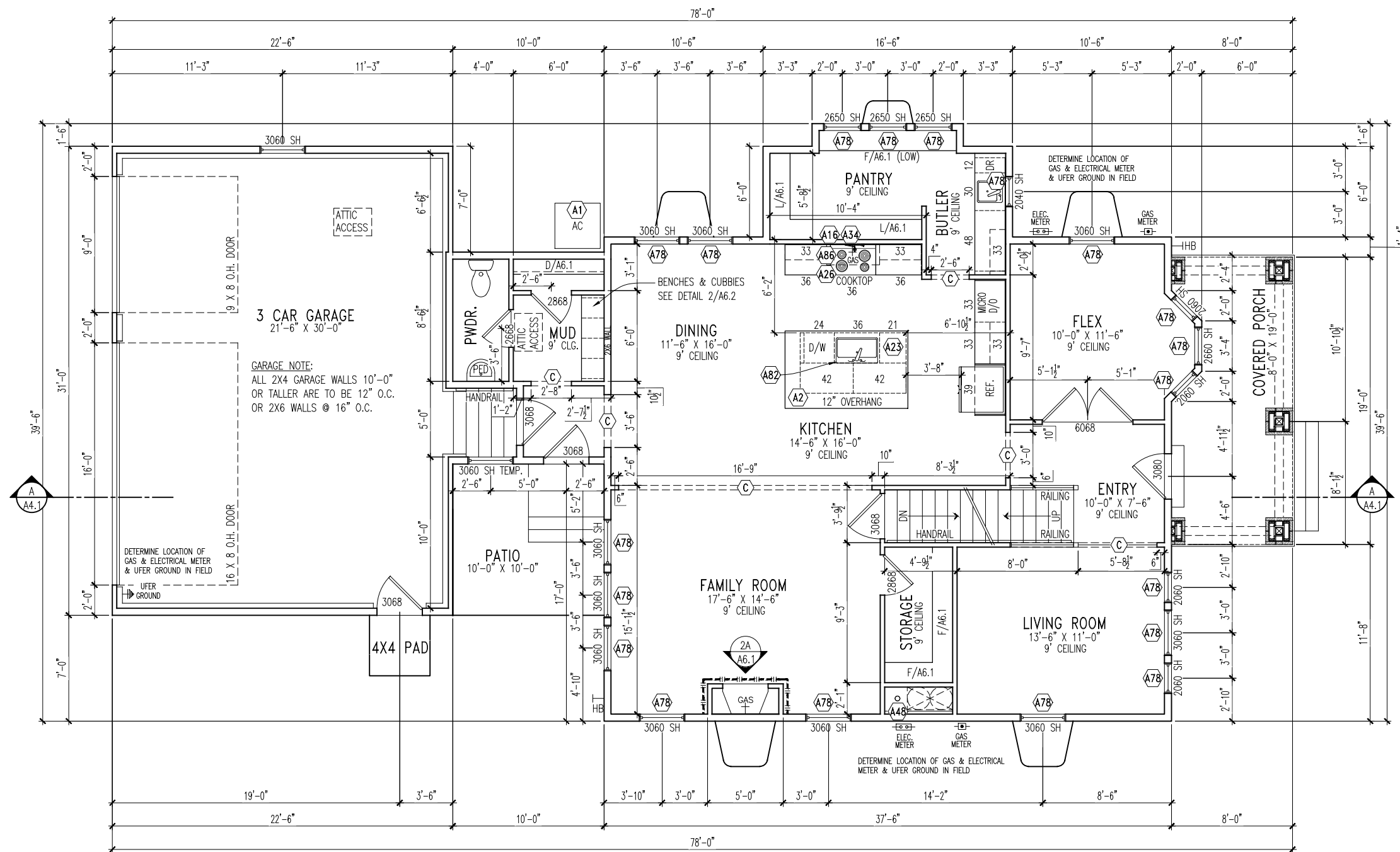
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TITLE
BASEMENT FLOOR PLAN

A21

MAIN FLOOR PLAN

SCALE: 1/8" = 1'-0"



GENERAL NOTES	
1.	FIRE PROTECT ANYTHING WITHIN 5'-0" OF THE PROPERTY LINE
2.	DOORS TO BE 6" MIN. FROM ADJACENT WALL ON HINGE SIDE OR CENTERED IN SPACE UNLESS NOTED OTHERWISE
3.	ALL EXTERIOR WALLS TO BE 2X6 (INCLUDING WALL BETWEEN HOME & GARAGE)
4.	ALL INTERIOR WALLS TO BE 2X4 UNLESS NOTED OTHERWISE
5.	ALL WINDOWS TO BE INSTALLED PER TYPICAL WINDOW DETAILS

WALL TYPE & PREP LEGEND	
	8" CONCRETE FOUNDATION WALL
	FRAMED BEARING WALL
	FRAMED WALL (NON-BEARING)
	UNFIN. WALL/FUTURE WALL LOCATION
	PREP FOR WALL TILE
	MILLWORK WALL, SEE SELECTIONS
* SEE SELECTIONS FOR SPECIFIC MATERIALS, COLORS, & ADDITIONAL INFO	

ROUGH OPENING HEIGHTS	
	14" DROP DOWN FROM CEILING
	FINISHED OPENING TO MATCH SURROUNDING FINISHED DOOR HEIGHT
	14" DROP DOWN FROM CEILING, CASE & JAMB OPENING
	FINISHED OPENING TO MATCH DOOR HEIGHT, CASE & JAMB OPENING

- KEYNOTES
- FINAL LOCATION OF AC UNIT TO BE DETERMINED IN FIELD
 - CABINET SIZES ARE APPROXIMATE & SUBJECT TO CHANGE
 - 16" STUD SPACING TO BE CENTERED ON VENT
 - BUILT-IN GARBAGE PULL-OUT
 - BANK OF DRAWERS (UNDER COOKTOP)
 - POT FILLER, SEE DETAIL 23/A6.2
 - 4" SCHEDULE 40 PIPE RUNNING FROM BELOW 4" CONC. SLAB THROUGH THE FLUE CHASE, ATTIC, AND ROOF SHEATHING FOR RADON MITIGATION SYSTEM
 - CASSED WINDOW OPENING
 - DISPOSAL AIR SWITCH
 - 42" HOOD, (SEE DESIGN SPECIFICATIONS)

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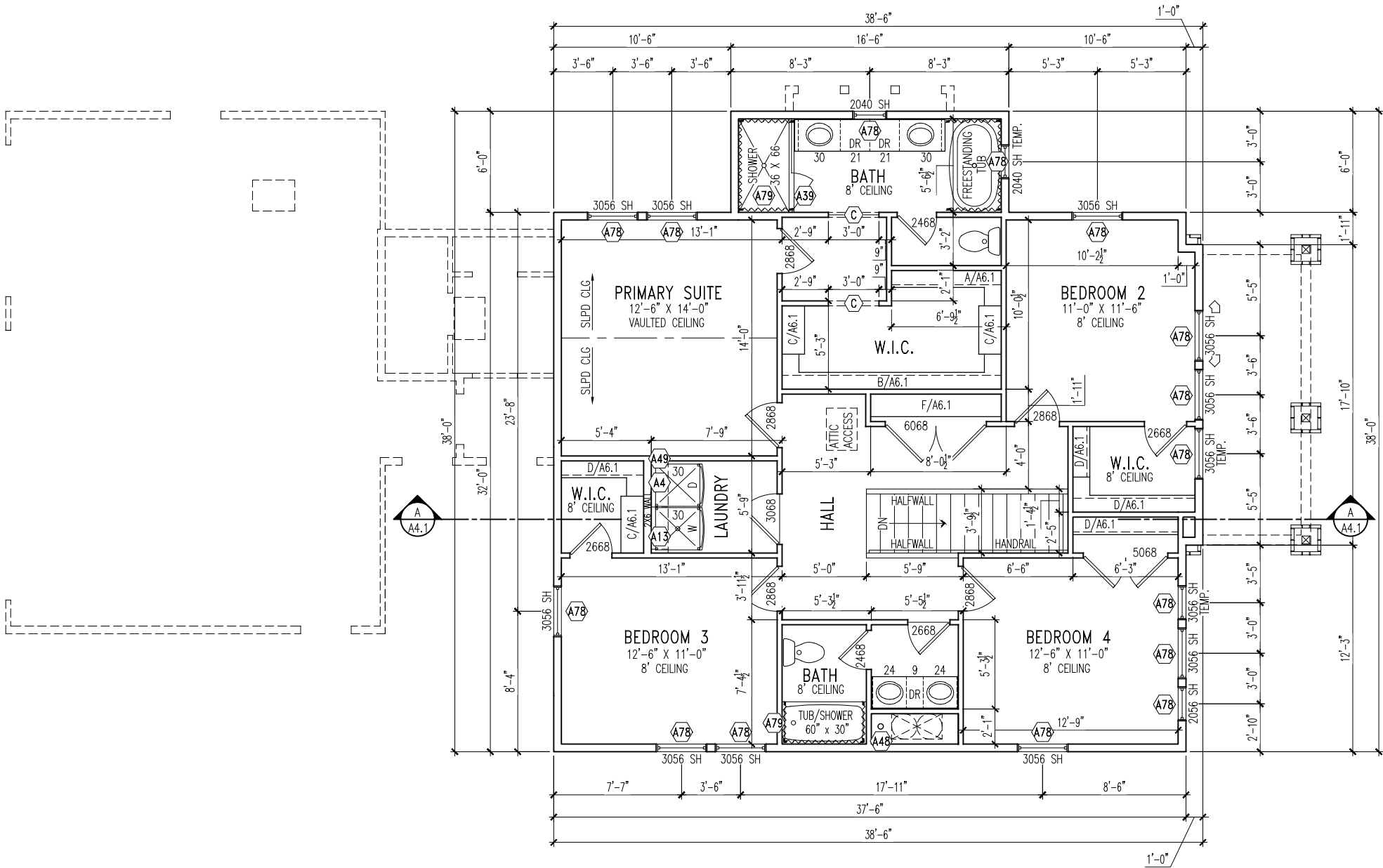
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TITLE
MAIN FLOOR PLAN

A2.2

UPPER FLOOR PLAN

SCALE: 1/8" = 1'-0"



GENERAL NOTES	
1.	FIRE PROTECT ANYTHING WITHIN 5'-0" OF THE PROPERTY LINE
2.	DOORS TO BE 6" MIN. FROM ADJACENT WALL ON HINGE SIDE OR CENTERED IN SPACE UNLESS NOTED OTHERWISE
3.	ALL EXTERIOR WALLS TO BE 2X6 (INCLUDING WALL BETWEEN HOME & GARAGE)
4.	ALL INTERIOR WALLS TO BE 2X4 UNLESS NOTED OTHERWISE
5.	ALL WINDOWS TO BE INSTALLED PER TYPICAL WINDOW DETAILS

WALL TYPE & PREP LEGEND	
	8" CONCRETE FOUNDATION WALL
	FRAMED BEARING WALL
	FRAMED WALL (NON-BEARING)
	UNFIN. WALL/FUTURE WALL LOCATION
	PREP FOR WALL TILE
	MILLWORK WALL, SEE SELECTIONS
* SEE SELECTIONS FOR SPECIFIC MATERIALS, COLORS, & ADDITIONAL INFO	

ROUGH OPENING HEIGHTS	
	14" DROP DOWN FROM CEILING
	FINISHED OPENING TO MATCH SURROUNDING FINISHED DOOR HEIGHT
	14" DROP DOWN FROM CEILING, CASE & JAMB OPENING
	FINISHED OPENING TO MATCH DOOR HEIGHT, CASE & JAMB OPENING

- KEYNOTES
- UPPER WALL CABINETS AT LAUNDRY, SEE DETAIL 1/A6.2
 - INSTALL FLOOR PAN AND DRAIN AT WASHER LOCATION
 - BLOCKING FOR EURO DOOR W/ CLIPS & HINGES
 - 4" SCHEDULE 40 PIPE RUNNING FROM BELOW 4" CONC. SLAB THROUGH THE FLUE CHASE, ATTIC, AND ROOF SHEATHING FOR RADON MITIGATION SYSTEM
 - 2X4 FURR WALL TO ACCOMMODATE PLUMBING
 - CASIED WINDOW OPENING
 - SHOWER HEAD TO BE INSTALLED AT 84" A.F.F.

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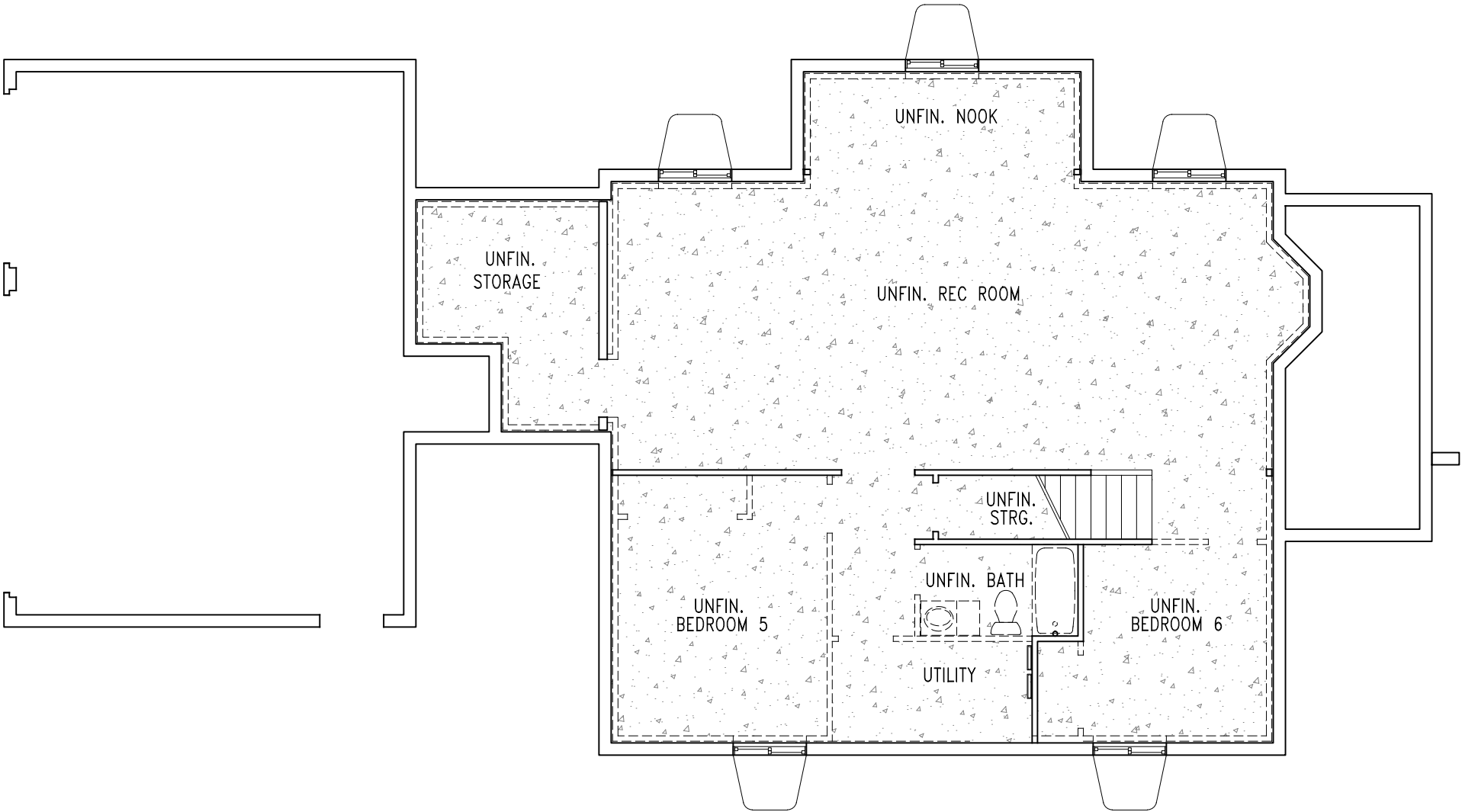
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TITLE
UPPER FLOOR PLAN

A2.3

BASEMENT FLOORING PLAN

SCALE: 1/8" = 1'-0"



WALL TYPE & PREP LEGEND	
	8" CONCRETE FOUNDATION WALL
	FRAMED BEARING WALL
	FRAMED WALL (NON-BEARING)
	UNFIN. WALL/FUTURE WALL LOCATION
	PREP FOR WALL TILE
	MILLWORK WALL, SEE SELECTIONS
* SEE SELECTIONS FOR SPECIFIC MATERIALS, COLORS, & ADDITIONAL INFO	

FLOORING MATERIALS LEGEND			
	CONCRETE		12X12 TILE BRICK SET
	CARPET		12X24 TILE BRICK SET
	PLANK FLOORING		6X24 TILE RANDOM SET
	TILE		12X12 TILE STACKED
	COMPOSITE DECKING		12X24 TILE STACKED
	MULTI-COAT SYSTEM		7-0" TILE HEXAGON
	EPOXY		6X24 TILE HERRINGBONE
* SEE SELECTIONS FOR SPECIFIC MATERIALS, SIZE, & PATTERNS			

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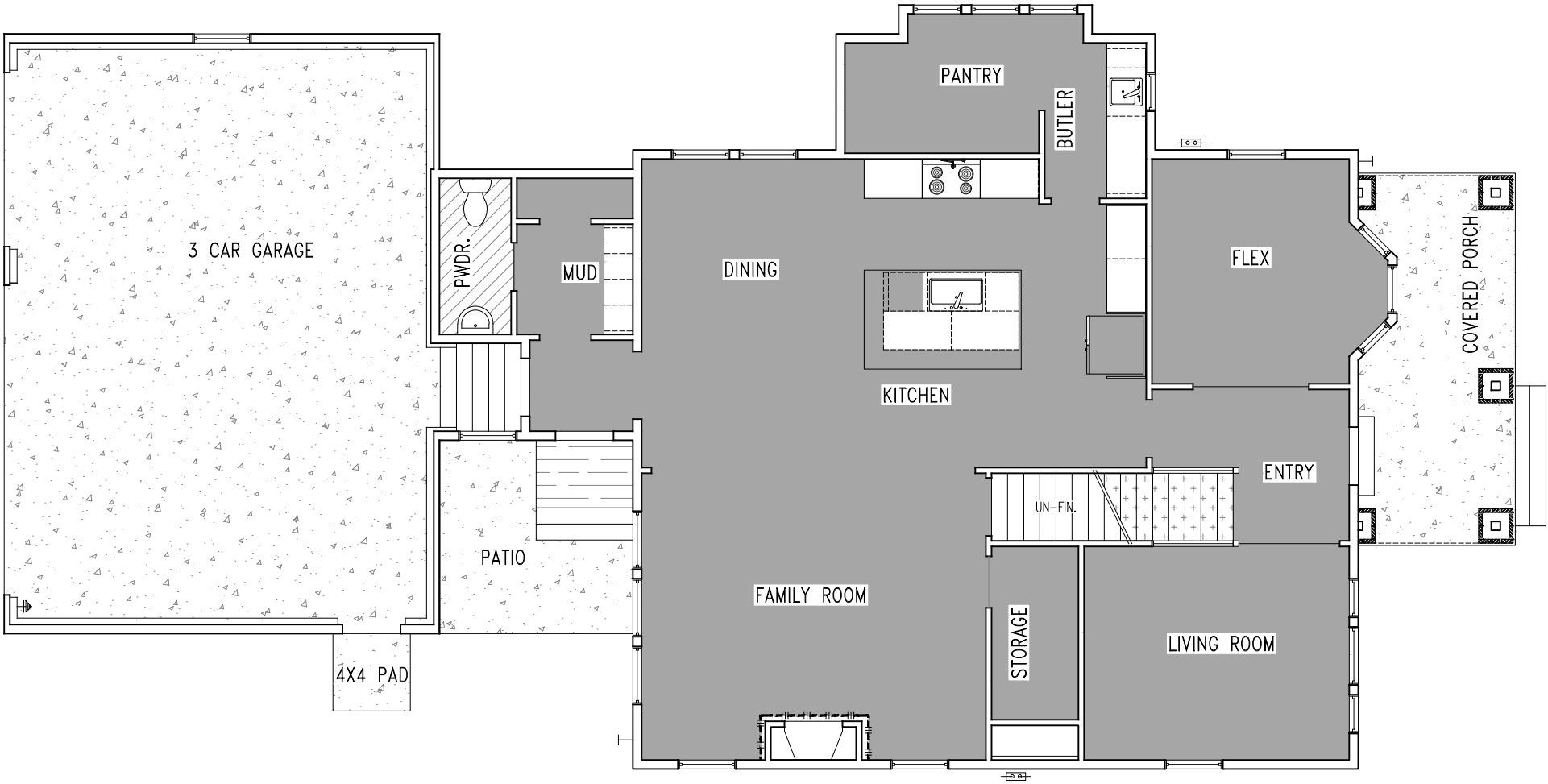
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TITLE
BASEMENT FLOORING LAYOUT

A24

MAIN FLOORING PLAN

SCALE: 1/8" = 1'-0"



WALL TYPE & PREP LEGEND	
	8" CONCRETE FOUNDATION WALL
	FRAMED BEARING WALL
	FRAMED WALL (NON-BEARING)
	UNFIN. WALL/FUTURE WALL LOCATION
	PREP FOR WALL TILE
	MILLWORK WALL, SEE SELECTIONS
* SEE SELECTIONS FOR SPECIFIC MATERIALS, COLORS, & ADDITIONAL INFO	

FLOORING MATERIALS LEGEND			
	CONCRETE		12X12 TILE BRICK SET
	CARPET		12X24 TILE BRICK SET
	PLANK FLOORING		6X24 TILE RANDOM SET
	TILE		12X12 TILE STACKED
	COMPOSITE DECKING		12X24 TILE STACKED
	MULTI-COAT SYSTEM		7-0" TILE HEXAGON
	EPOXY		6X24 TILE HERRINGBONE
* SEE SELECTIONS FOR SPECIFIC MATERIALS, SIZE, & PATTERNS			

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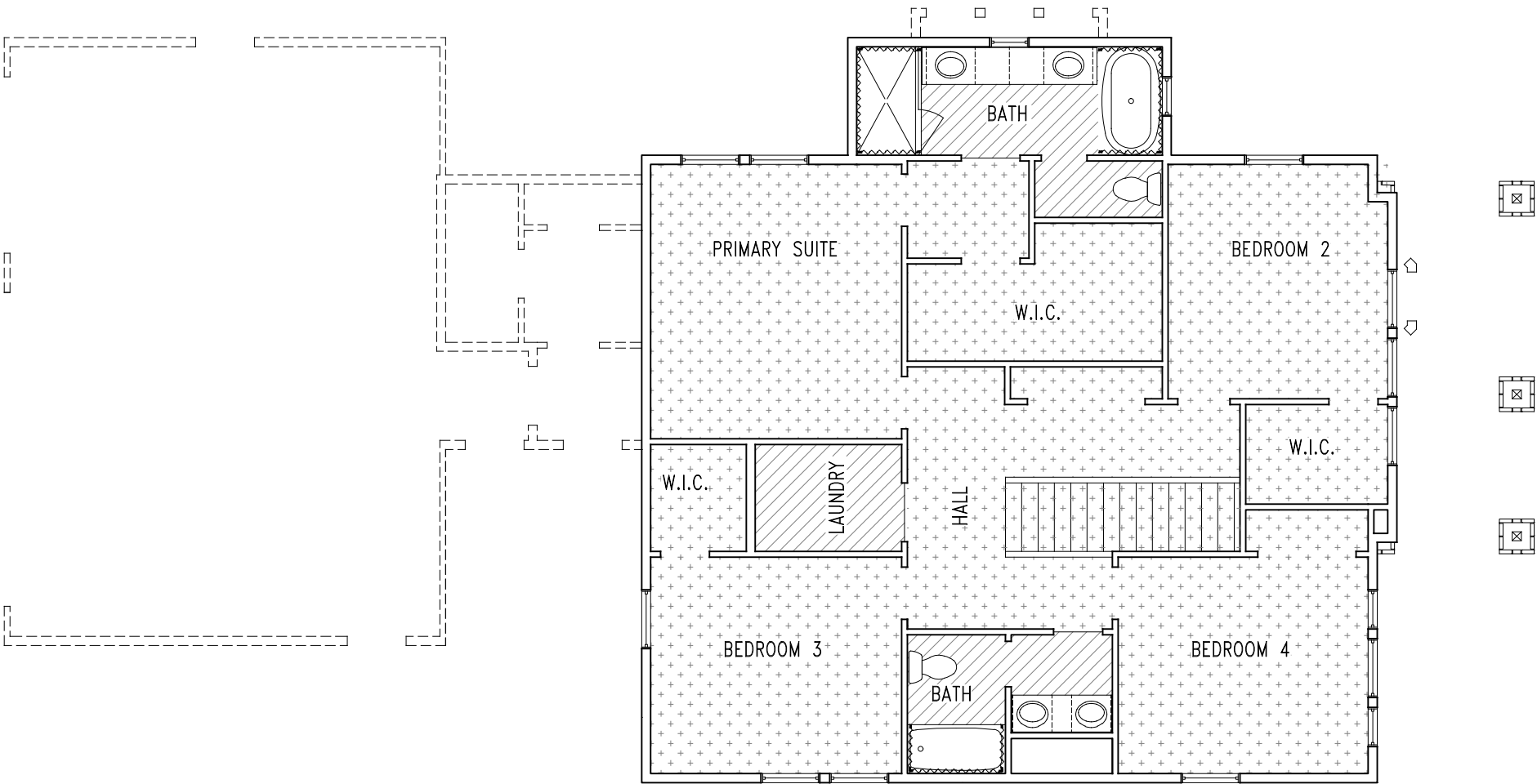
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TITLE
MAIN FLOORING LAYOUT

A25

UPPER FLOORING PLAN

SCALE: 1/8" = 1'-0"



WALL TYPE & PREP LEGEND	
	8" CONCRETE FOUNDATION WALL
	FRAMED BEARING WALL
	FRAMED WALL (NON-BEARING)
	UNFIN. WALL/FUTURE WALL LOCATION
	PREP FOR WALL TILE
	MILLWORK WALL, SEE SELECTIONS
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FLOORING MATERIALS LEGEND			
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	CARPET		12X24 TILE BRICK SET
	PLANK FLOORING		6X24 TILE RANDOM SET
	TILE		12X12 TILE STACKED
	COMPOSITE DECKING		12X24 TILE STACKED
	MULTI-COAT SYSTEM		7-0" TILE HEXAGON
	EPOXY		6X24 TILE HERRINGBONE
* SEE SELECTIONS FOR SPECIFIC MATERIALS, SIZE, & PATTERNS			

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Homes

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SOUTH JORDAN, UTAH
plan:
JUNIPER
ARTS & CRAFTS

DATE
OCTOBER 08, 2025

VERSION 1.0

HOMEBUYER
DESTINATION HOMES

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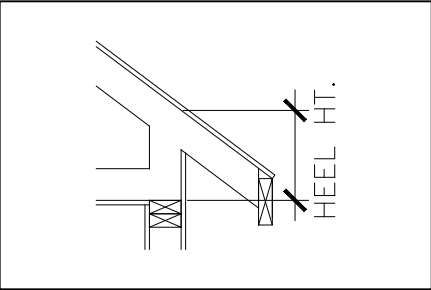
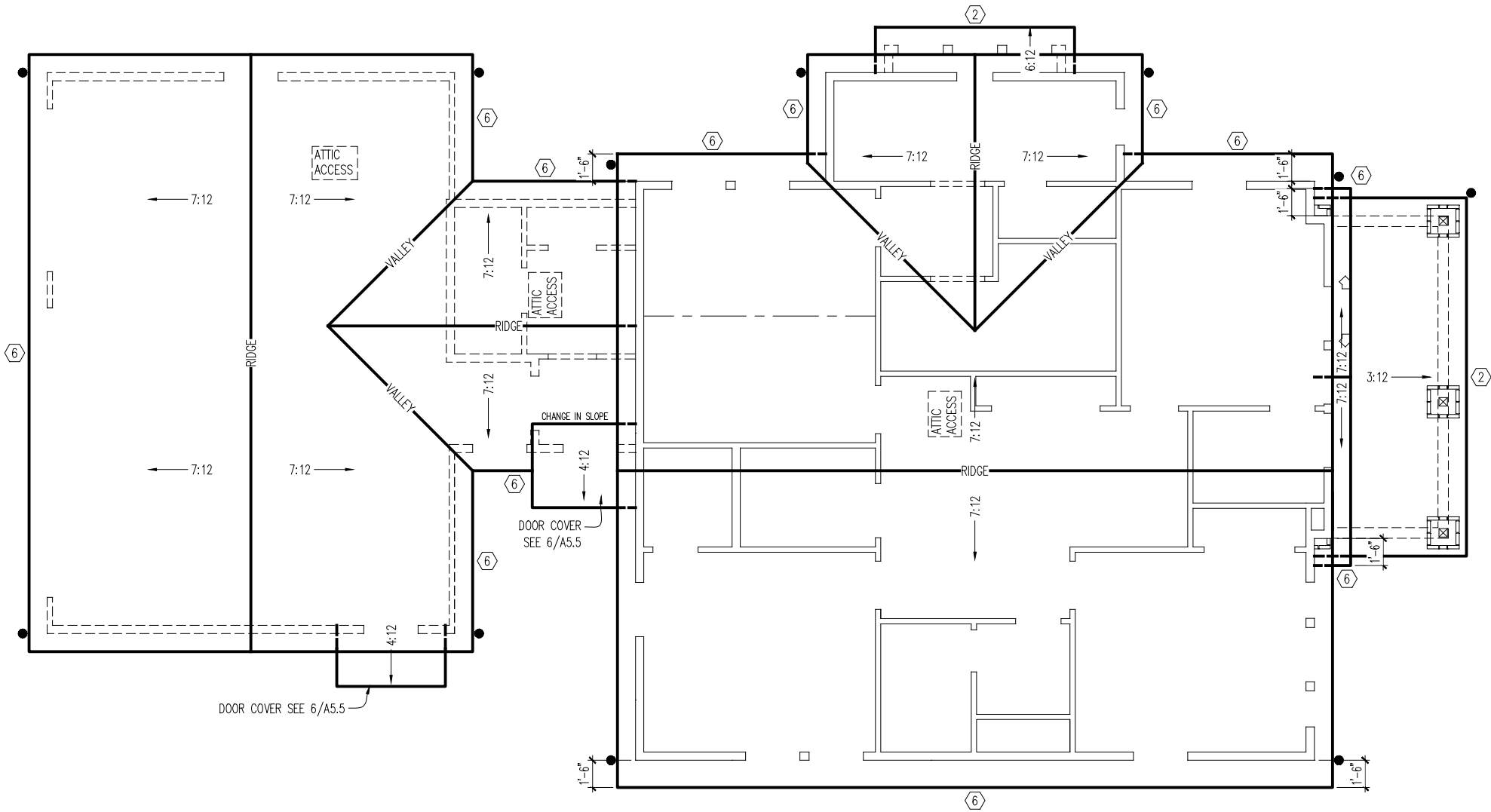
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TITLE
UPPER FLOORING LAYOUT

A26

ROOF PLAN

SCALE: 1/8" = 1'-0"



ROOF PLAN LEGEND	
●	LOCATION OF DOWNSPOUT

- GENERAL NOTES
1.

ROOF OVERHANGS TO BE 12" UNLESS NOTED OTHERWISE
2.

SEE SHEET D3.1 FOR TYPICAL FIRE RATED DETAILS

HEEL HEIGHTS	
< 1 >	NO HEEL
< 2 >	0'-6"
< 3 >	0'-6-1/2"
< 4 >	0'-7"
< 5 >	0'-8"
< 6 >	0'-9"
< 7 >	0'-10"
< 8 >	0'-10-1/2"
< 9 >	0'-11"
< 10 >	1'-0"
< 11 >	1'-2"
< 12 >	1'-3"
< 13 >	1'-4"
< 14 >	1'-5"
< 15 >	1'-6"
< 16 >	1'-8"
< 17 >	1'-10"
< 18 >	2'-0"
< 19 >	2'-5"

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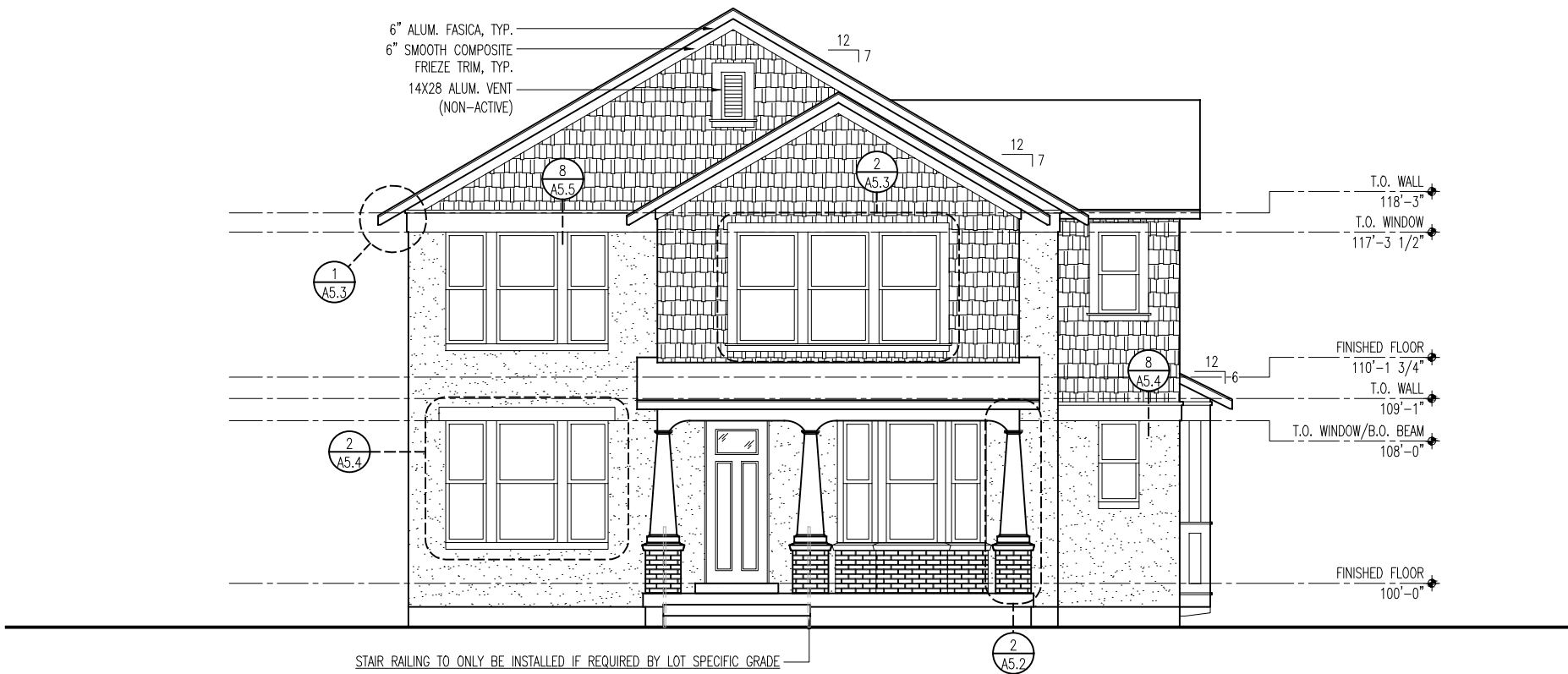
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TITLE
ROOF PLAN

FRONT ELEVATION

SCALE: 1/8" = 1'-0"

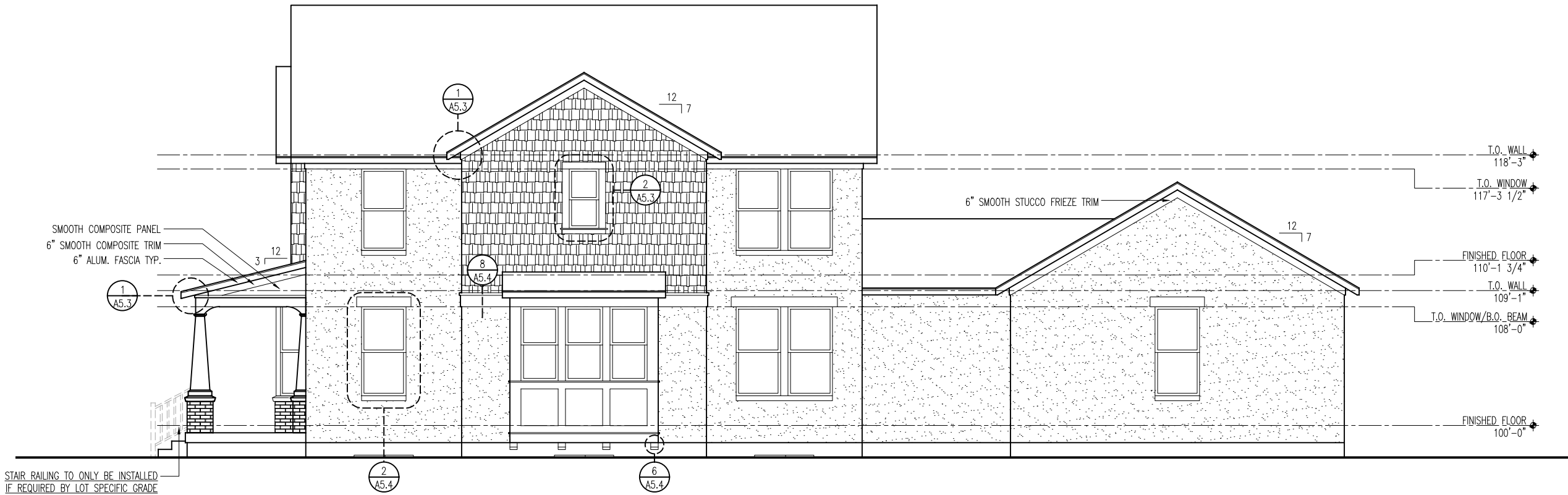


EXTERIOR MATERIALS LEGEND	
	SMOOTH STUCCO
	4" SMOOTH COMPOSITE SIDING
	6" SMOOTH COMPOSITE SIDING
	8" SMOOTH COMPOSITE SIDING
	1X2 BOARD AND BATTEN @ 14" O.C.
	1X2 BOARD AND BATTEN @ 16" O.C.
	1X2 BOARD AND BATTEN @ 24" O.C.
	8" SHAKES SHINGLE
	BRICK

- GENERAL ELEVATION NOTES
- A. DOORS SUBJECT TO CHANGE SEE DESIGN SPECIFICATIONS FOR DOOR STYLE
 - B. NO WALL MOUNTED VENTS ON FRONT ELEVATION
 - C. ALL ROOFING TO BE 30 YEAR ARCHITECTURAL GRADE SHINGLES UNLESS OTHERWISE NOTED
 - D. ATTIC VENTILATION TO BE INSTALLED AS REQ'D BY CODE & IS TO BE LOCATED ON NON-STREET FACING SIDES OF HOME WHEREVER POSSIBLE
 - E. SEE ROOF PLAN FOR ROOF SLOPES, OVERHANGS & DOWNSPOUT LOCATIONS
 - F. SEE ROOF PLAN FOR DORMER & CHIMNEY LOCATIONS WHEN APPLICABLE
 - G. SEE FLOOR PLAN SHEETS FOR SPECIFIC WINDOW LOCATIONS, SIZES, & GLAZING TYPES
 - H. SEE FLOOR PLAN SHEETS FOR SPECIFIC EXTERIOR DOOR LOCATIONS & SIZES

RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



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DESTINATION HOMES

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TITLE
EXTERIOR ELEVATIONS

A31

October 08, 2025 2:36 PM

LEFT ELEVATION

SCALE: 1/8" = 1'-0"

ELEVATION NOT APPROVED TO BE ON CORNER LOTS

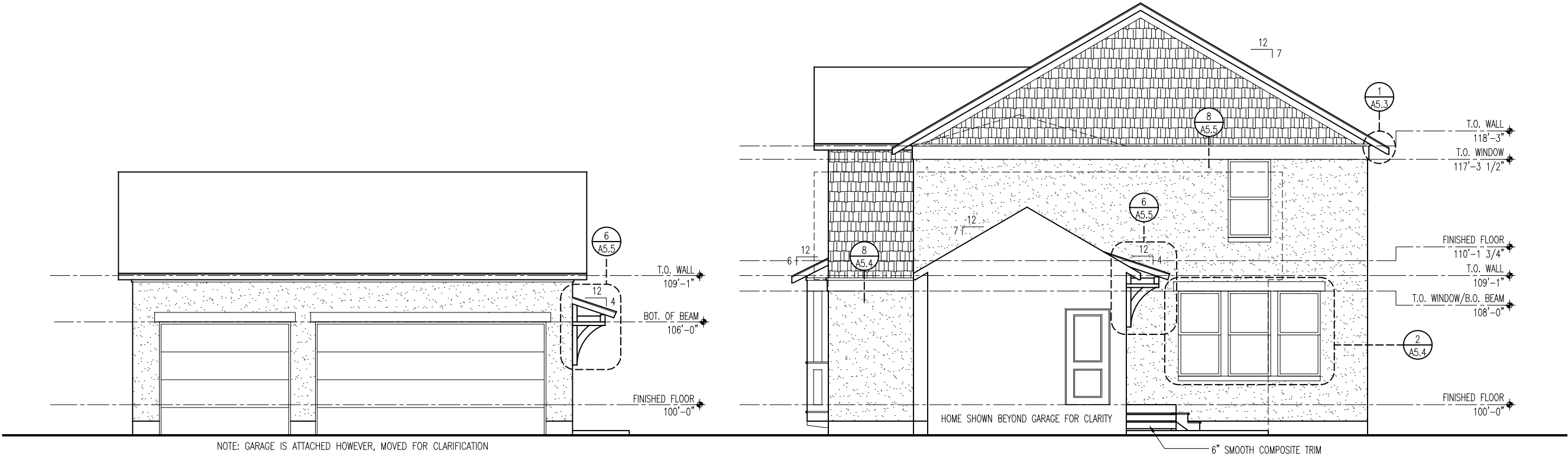


EXTERIOR MATERIALS LEGEND	
	SMOOTH STUCCO
	4" SMOOTH COMPOSITE SIDING
	6" SMOOTH COMPOSITE SIDING
	8" SMOOTH COMPOSITE SIDING
	1X2 BOARD AND BATTEN @ 14" O.C.
	1X2 BOARD AND BATTEN @ 16" O.C.
	1X2 BOARD AND BATTEN @ 24" O.C.
	8" SHAKES SHINGLE
	BRICK

- GENERAL ELEVATION NOTES
- A. DOORS SUBJECT TO CHANGE SEE DESIGN SPECIFICATIONS FOR DOOR STYLE
 - B. NO WALL MOUNTED VENTS ON FRONT ELEVATION
 - C. ALL ROOFING TO BE 30 YEAR ARCHITECTURAL GRADE SHINGLES UNLESS OTHERWISE NOTED
 - D. ATTIC VENTILATION TO BE INSTALLED AS REQ'D BY CODE & IS TO BE LOCATED ON NON-STREET FACING SIDES OF HOME WHEREVER POSSIBLE
 - E. SEE ROOF PLAN FOR ROOF SLOPES, OVERHANGS & DOWNSPOUT LOCATIONS
 - F. SEE ROOF PLAN FOR DORMER & CHIMNEY LOCATIONS WHEN APPLICABLE
 - G. SEE FLOOR PLAN SHEETS FOR SPECIFIC WINDOW LOCATIONS, SIZES, & GLAZING TYPES
 - H. SEE FLOOR PLAN SHEETS FOR SPECIFIC EXTERIOR DOOR LOCATIONS & SIZES

REAR ELEVATIONS

SCALE: 1/8" = 1'-0"



NOTE: GARAGE IS ATTACHED HOWEVER, MOVED FOR CLARIFICATION

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TITLE
EXTERIOR ELEVATIONS

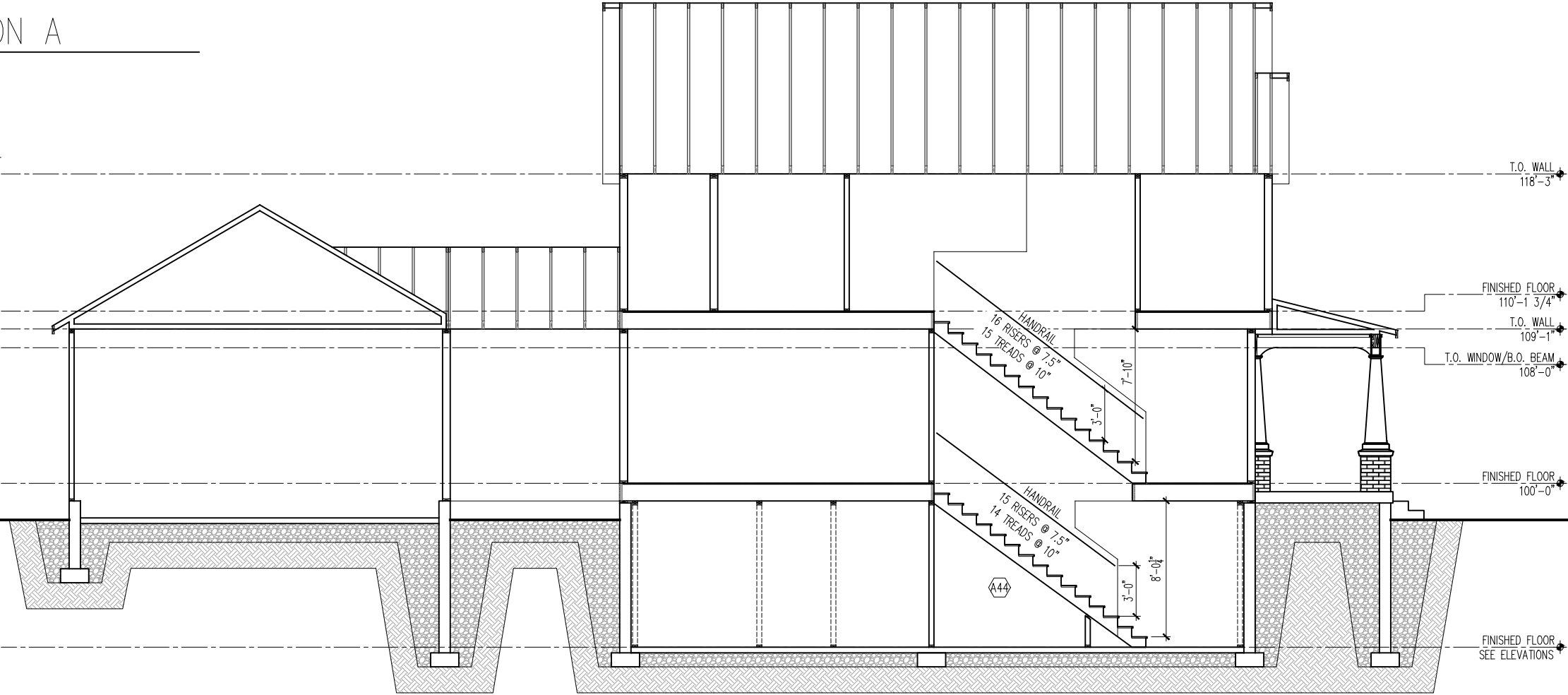
A3 | 2

BUILDING SECTION A

SCALE: 1/8" = 1'-0"

KEYNOTES

Ⓐ44 1/2" GYPSUM BOARD UNDER STAIRS WITH A 24" HIGH WALL LOCATED AT THE FAR END.



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DESTINATION HOMES

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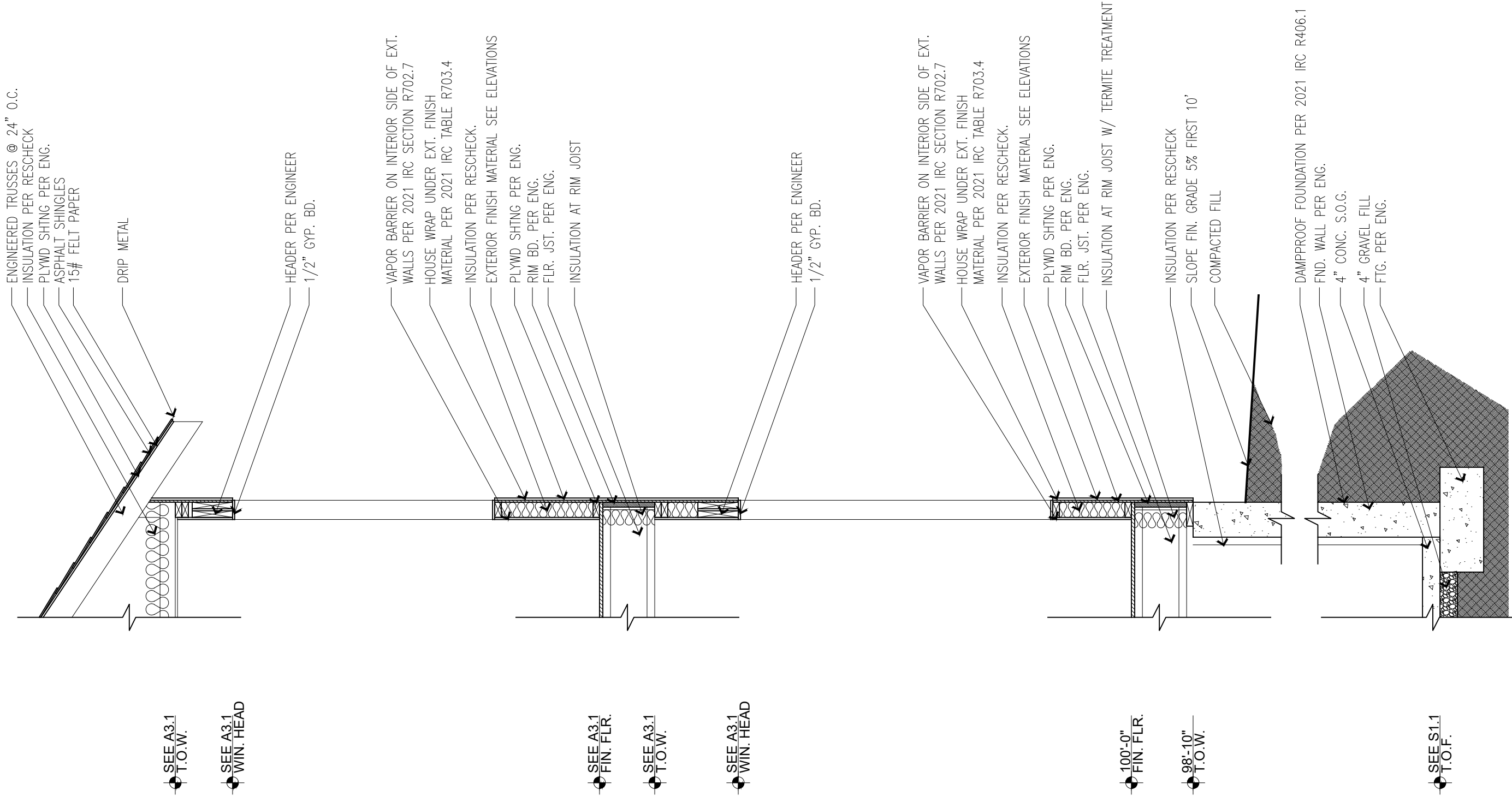
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TITLE
BUILDING SECTIONS

A41



1 TYPICAL WALL SECTION
SCALE: 1/2" = 1'-0"

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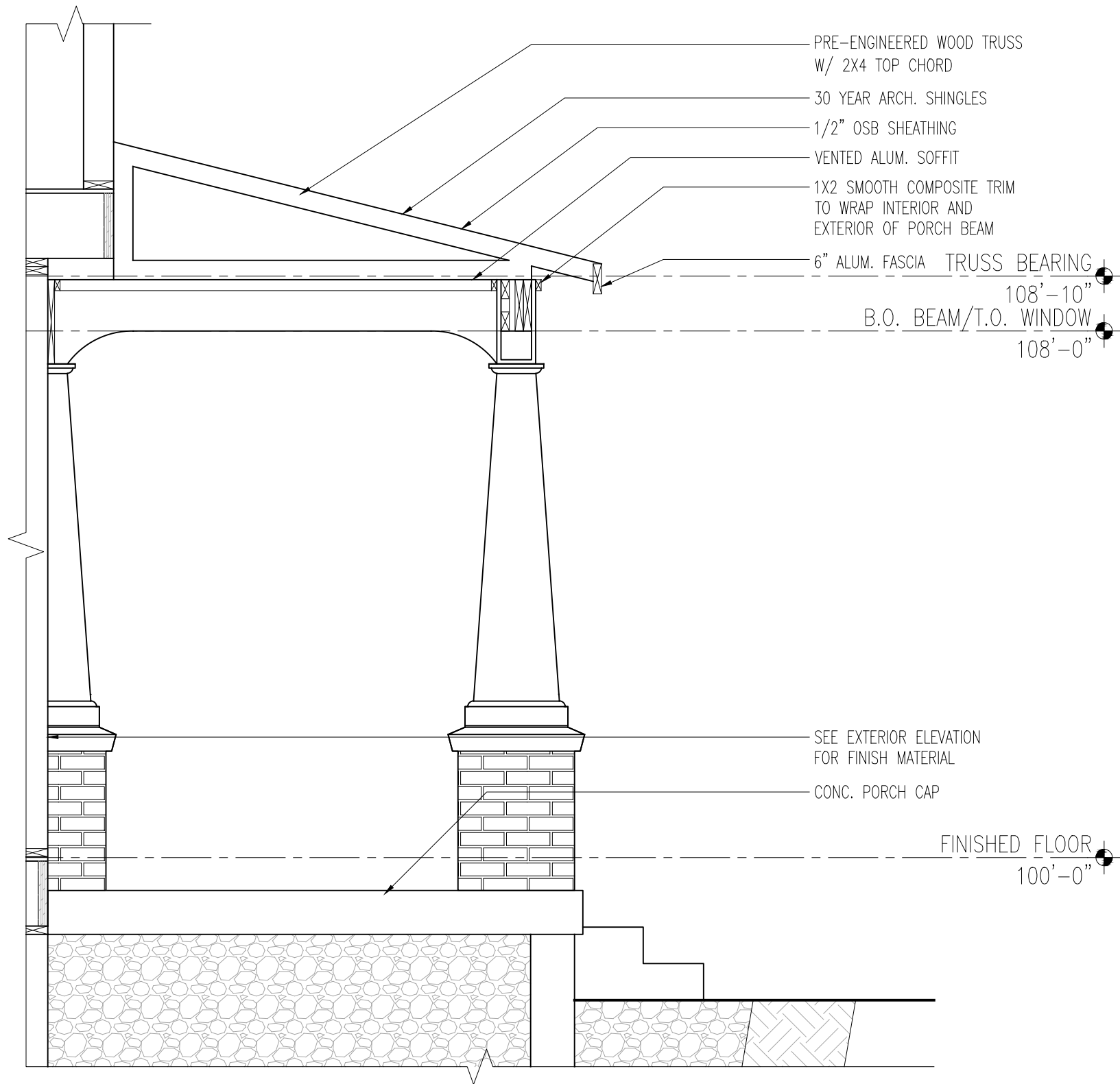
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DESTINATION HOMES

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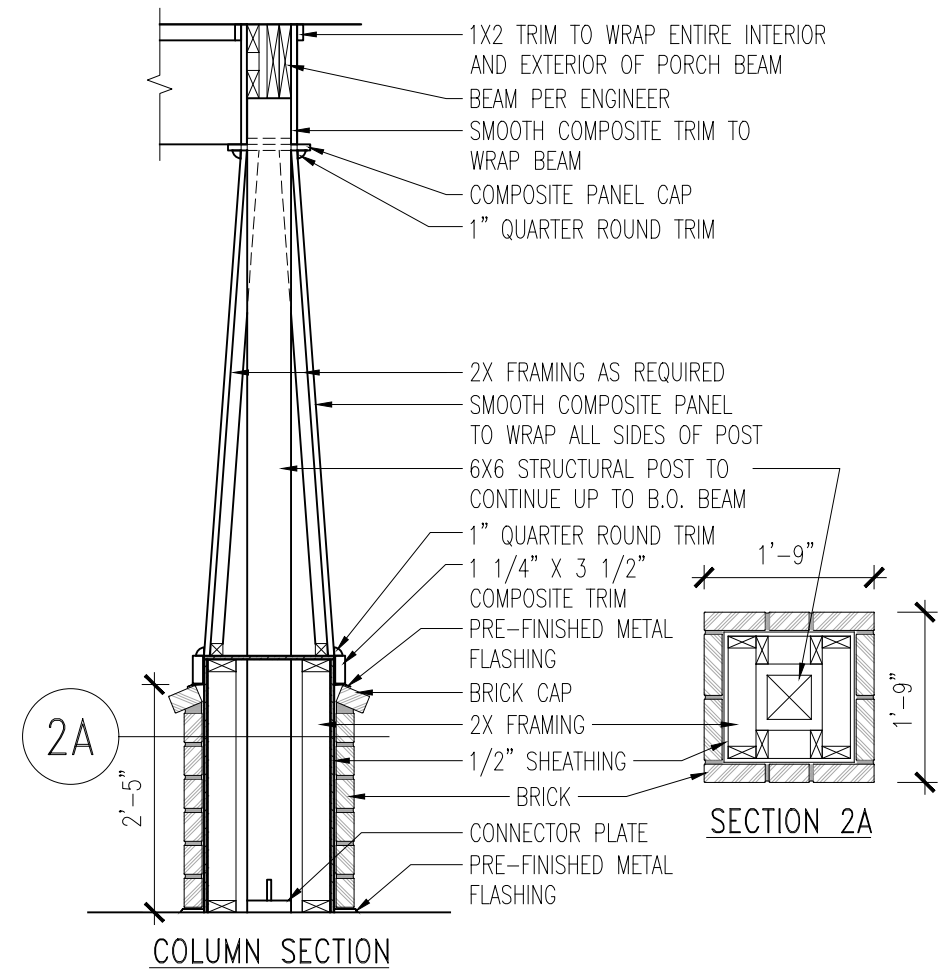
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TITLE
WALL SECTIONS

A51



1 PORCH SECTION
SCALE: 1/2" = 1'-0"



2 PORCH COLUMN DETAIL
SCALE: 1/2" = 1'-0"

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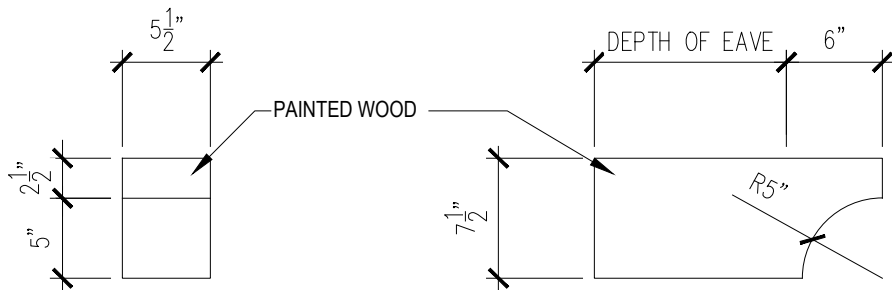
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TITLE
PORCH SECTION

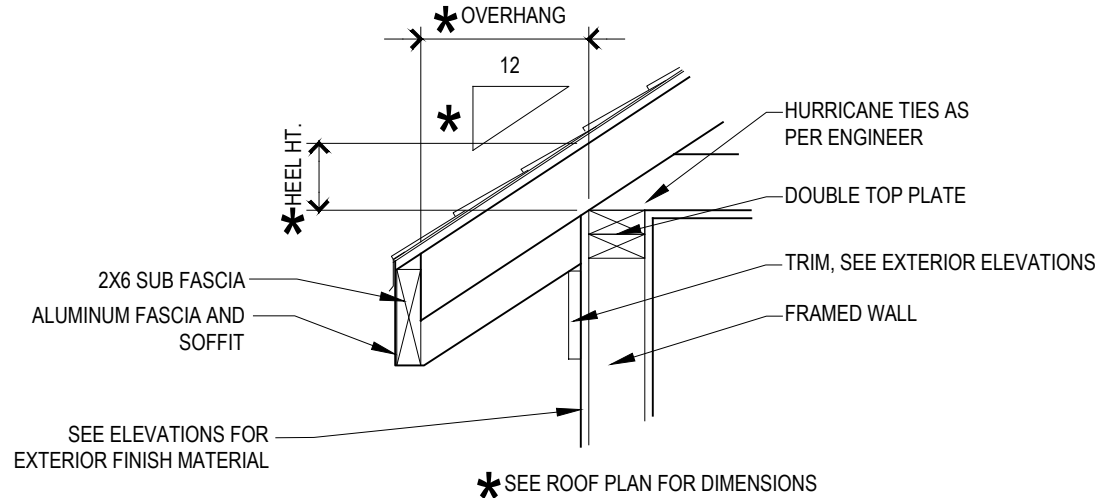
A5.2



6

CORBEL DETAIL

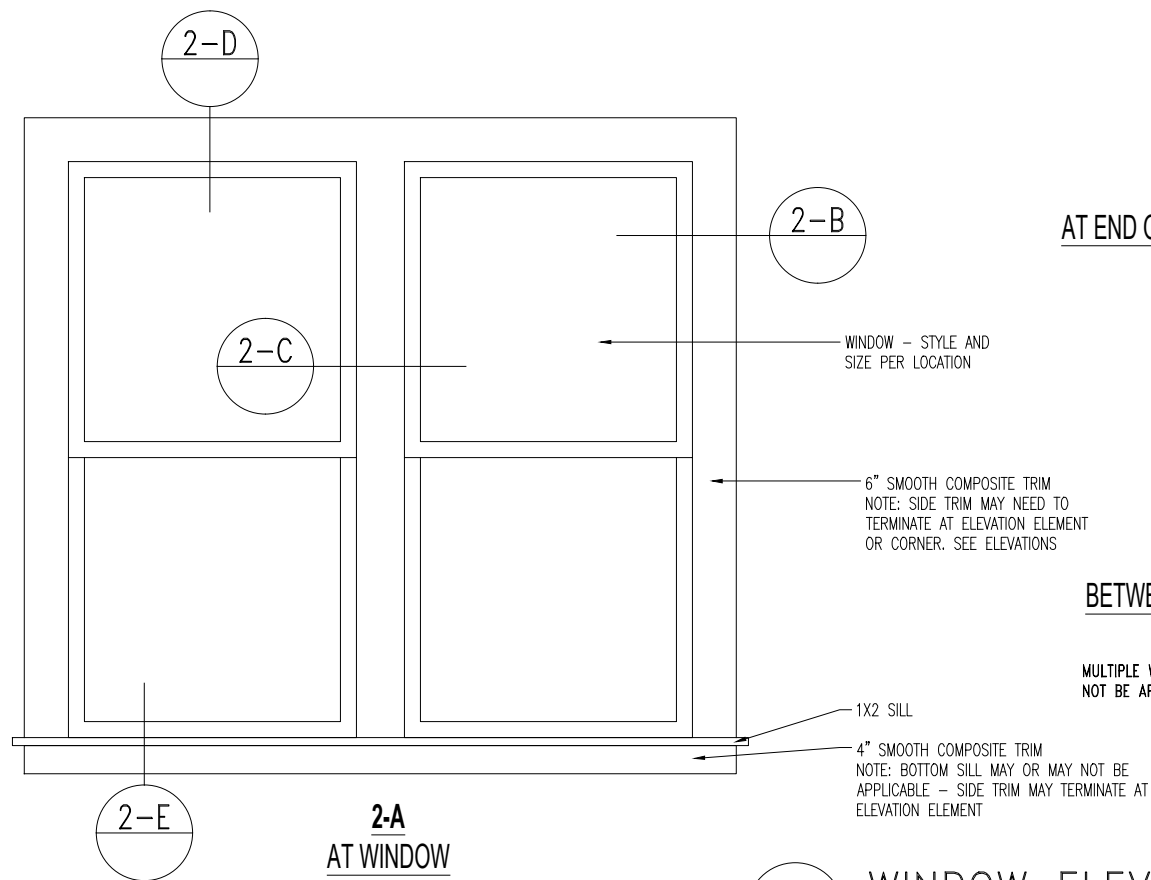
SCALE: 1" = 1'-0"



1

RAKED EAVE SECTION

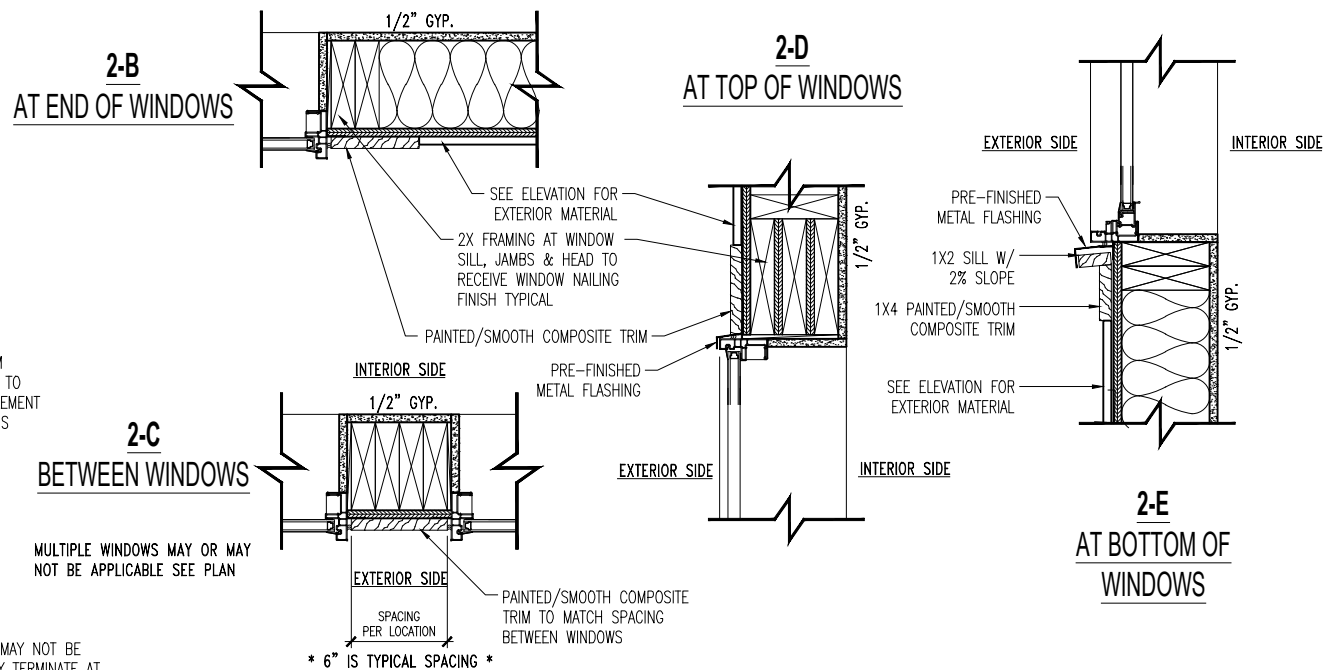
SCALE: 1" = 1'-0"



2

WINDOW ELEVATION

SCALE: 1" = 1'-0"



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HOMEBUYER

DESTINATION HOMES

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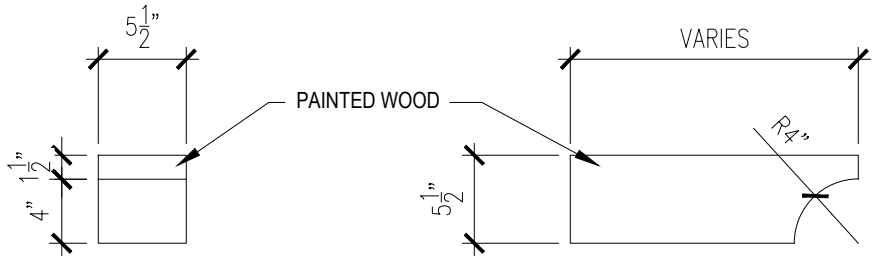
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TITLE

EXTERIOR DETAILS

A5.3

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6

CORBEL DETAIL

SCALE: 1" = 1'-0"

SEE ELEVATION FOR
FINISH MATERIAL

1 X 3 SLIGHT BEVEL CAP
WITH 2" FLASHING ON TOP

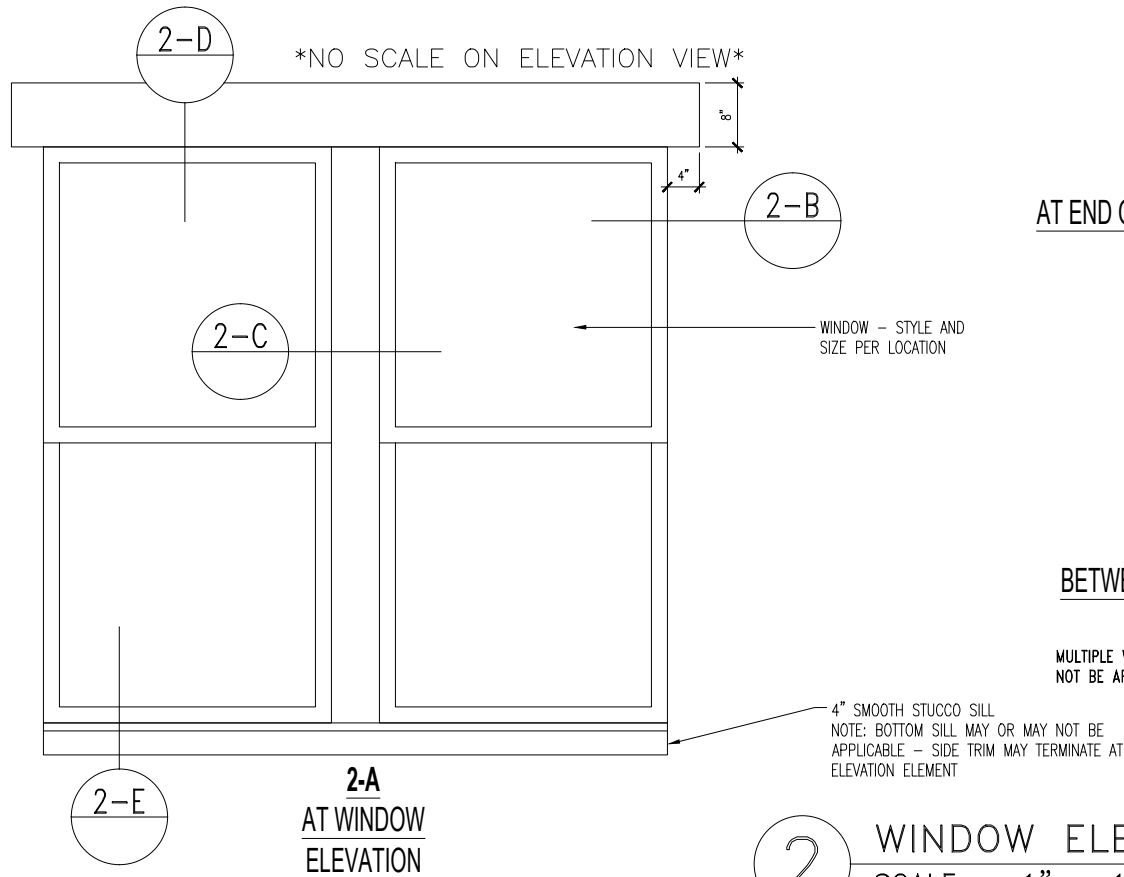
1 X 10 COMPOSITE TRIM

SEE ELEVATION FOR
FINISH MATERIAL

8

DECO-BOARD DETAIL

SCALE: 1/2" = 1'-0"



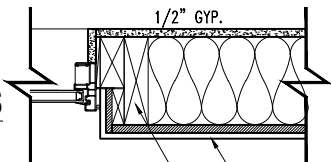
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WINDOW ELEVATION

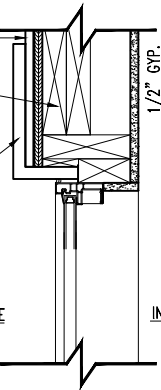
SCALE: 1" = 1'-0"

RECESSED - STUCCO
STYLE 1

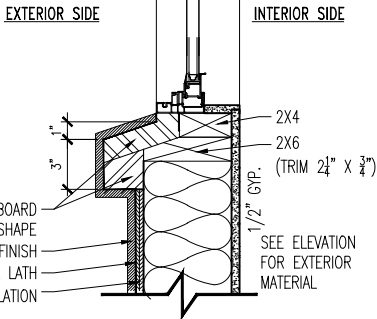
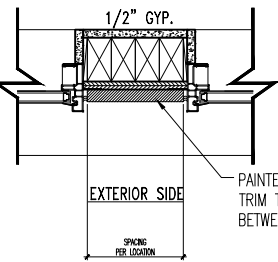
2-B
AT END OF WINDOWS



2-D
AT TOP OF WINDOWS



2-C
BETWEEN WINDOWS



2-E
AT BOTTOM OF
WINDOWS

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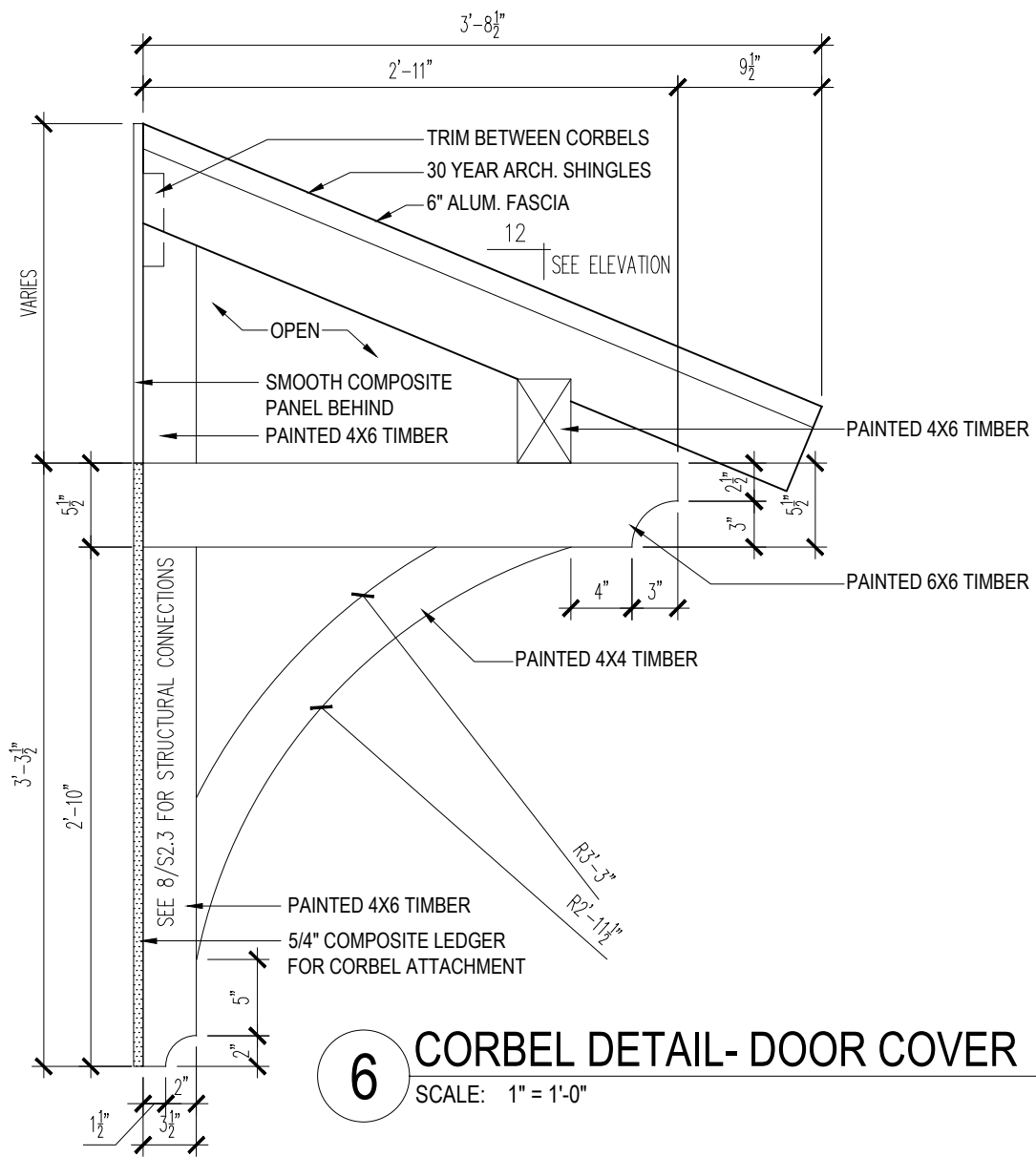
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EXTERIOR DETAILS

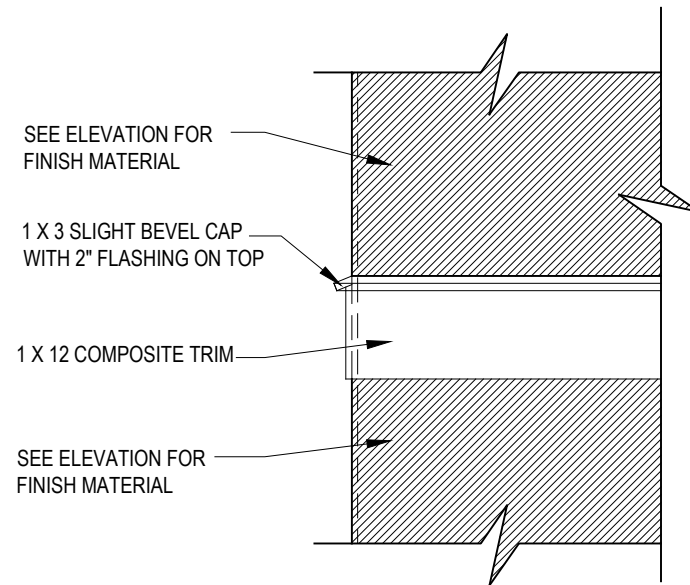
A54

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6 CORBEL DETAIL- DOOR COVER
SCALE: 1" = 1'-0"

8 DECO-BOARD DETAIL
SCALE: 1/2" = 1'-0"



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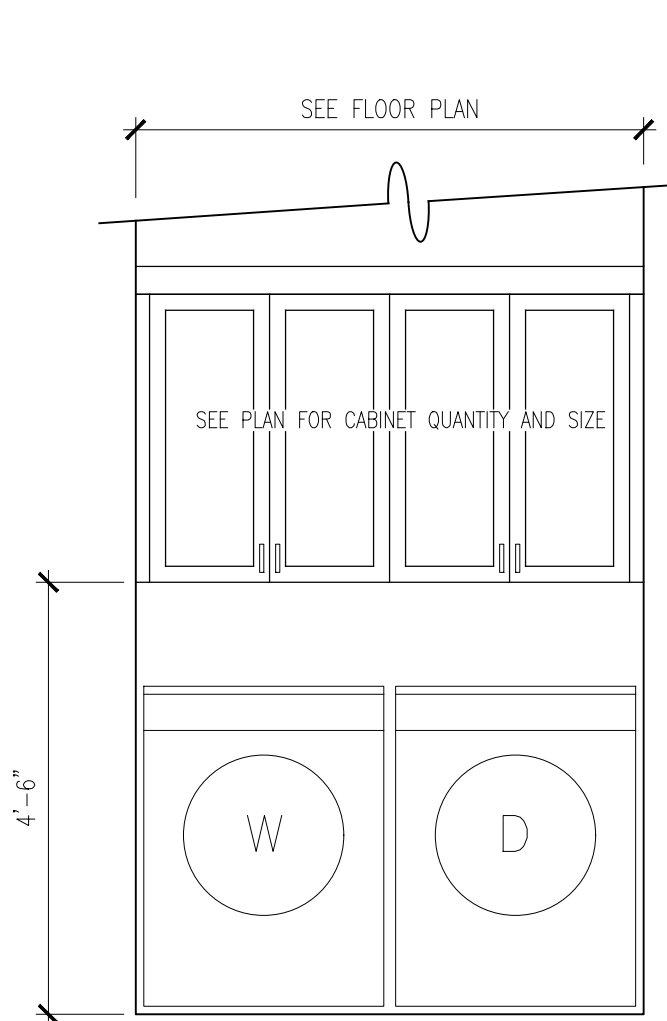
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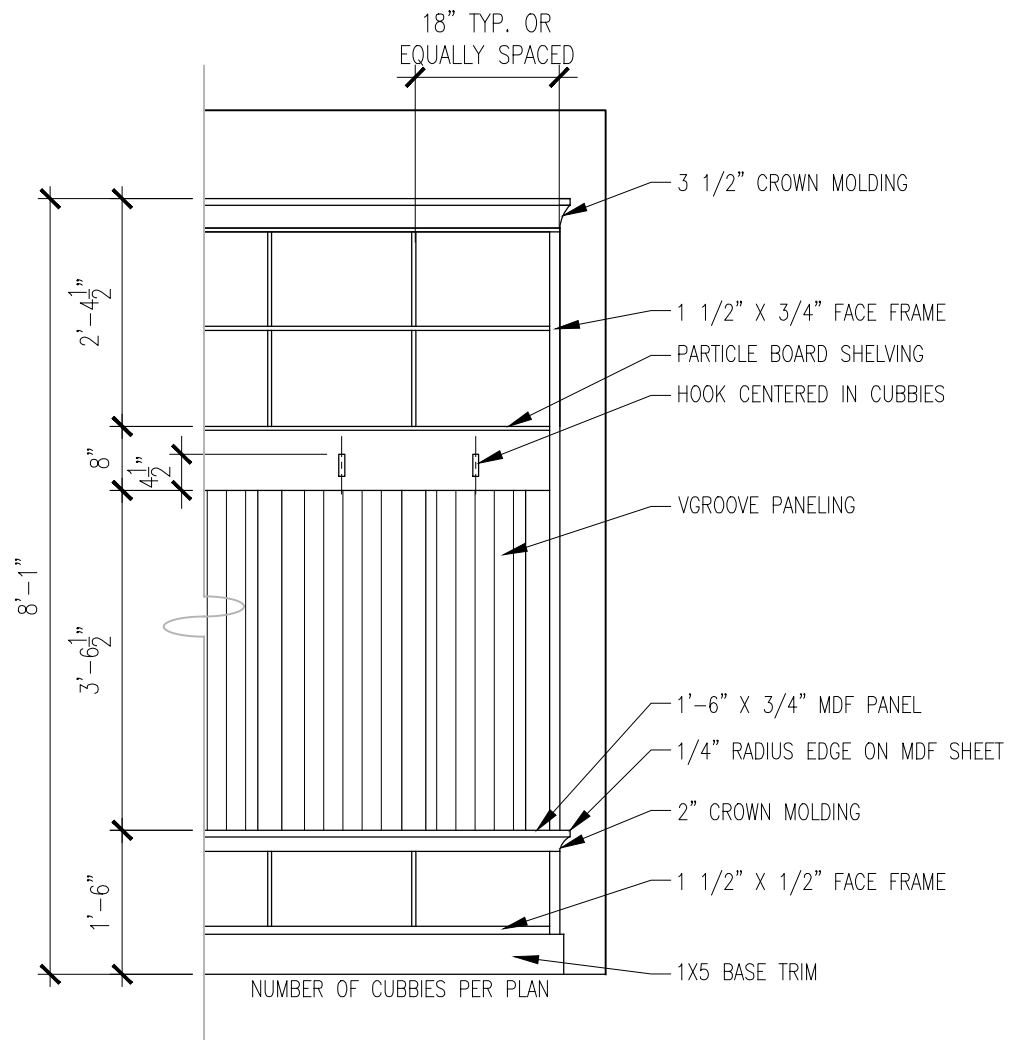
EXTERIOR DETAILS

A5|5

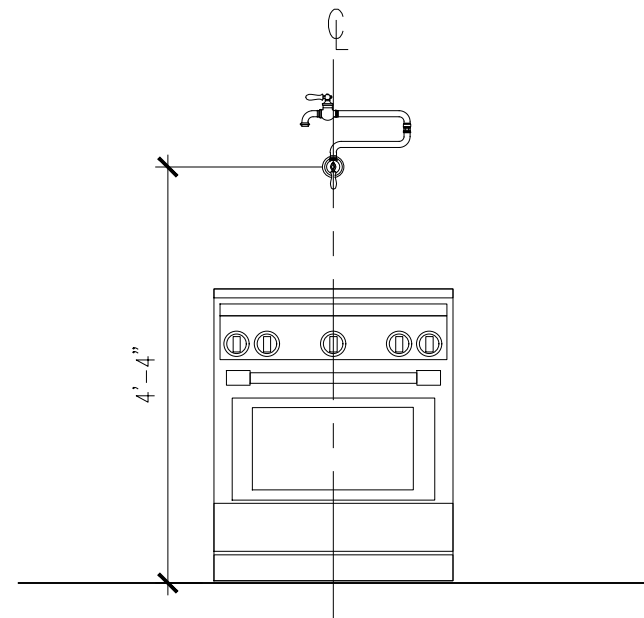
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1 LAUNDRY UPPER CABINETS
SCALE: 1/2" = 1'-0"



2 BENCH AND CUBBIES
SCALE: 1/2" = 1'-0"



23 POT FILLER
SCALE: 1/2" = 1'-0"

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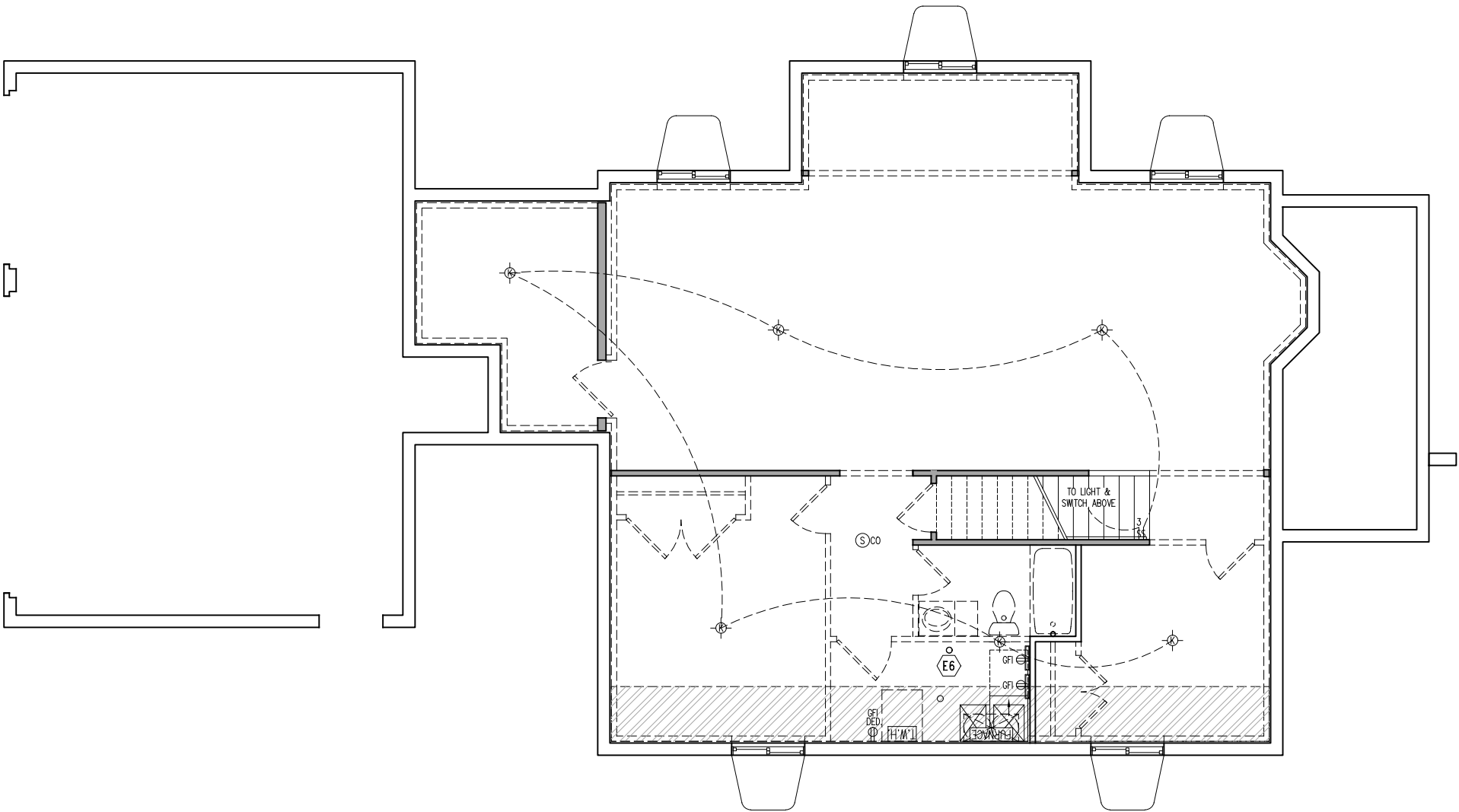
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TITLE
INTERIOR DETAILS

A6 | 2

BASEMENT ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"



HVAC NOTES	
1.	THERMOSTAT LOCATION(S) TBD IN THE FIELD BY TRADE
2.	HVAC SYSTEM COMPONENTS SHOWN IN THE PLANS SUCH AS SUPPLY AIR REGISTERS, COLD AIR RETURNS, HEAT TRUNKS, ETC. ARE REPRESENTATIONS ONLY
THE MANUAL J&D DOCUMENT PREPARED BY A LICENSED MECHANICAL ENGINEER WILL GOVERN ACTUAL PLACEMENT & SIZE OF HVAC SYSTEM COMPONENTS IN COMPLIANCE WITH CURRENT MECHANICAL CODE	

ELECTRICAL NOTES	
1.	SEE SHEETS A0-2 FOR ELECTRICAL PROJECT KEY NOTES & INFORMATION
2.	ELECTRICAL LAYOUTS ARE SHOWN IN SCHEMATIC, THE CONTRACTOR IS RESPONSIBLE TO COORDINATE THE LAYOUT & INSTALLATION OF ALL RELATED ITEMS WITH EXISTING CONDITIONS AND RELATED TRADES
3.	COORDINATE WITH OWNER, DESIGNER &/OR PLANS FOR FIXTURE SCHEDULES, STYLES, FINISHES, ETC.
4.	ALL WORK TO COMPLY WITH CURRENT N.E.C. CODES & 2021 IRC
5.	CENTER OF ALL OUTLETS TO BE 18" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE. CENTER OF OUTLETS OVER CABINETS, VANITIES, ETC. TO BE 12" ABOVE FINISH COUNTER HEIGHT UNLESS NOTED OTHERWISE
6.	CONTRACTOR TO FIELD VERIFY LOCATION OF ALL ELECTRICAL FIXTURES, SWITCHES, ETC. WITH OWNER & DESIGNER PRIOR TO WIRING
7.	PROVIDE SLOPED RECESSED CANS FOR SLOPED CEILING APPLICATIONS & THERMAL PROTECTION CANS WHERE IN CONTACT WITH INSULATION AS REQUIRED
8.	CONTRACTOR TO PROVIDE ELECTRICAL SERVICE TO MECHANICAL EQUIPMENT AS REQUIRED

ELECTRICAL SYMBOLS LEGEND		
A. LOCATION IS REPRESENTATIONAL ONLY. FINAL LOCATION TO BE DETERMINED BY LICENSED PROFESSIONAL AT INSTALL.		
B. P.W. INDICATES PRE-WIRED FIXTURES		

KEYNOTES

LOCATE (1) DEDICATED 110 VOLT DUPLEX OUTLET IN ATTIC SPACE NEAR ATTIC ACCESS FOR RADON MITIGATION SYSTEM FAN

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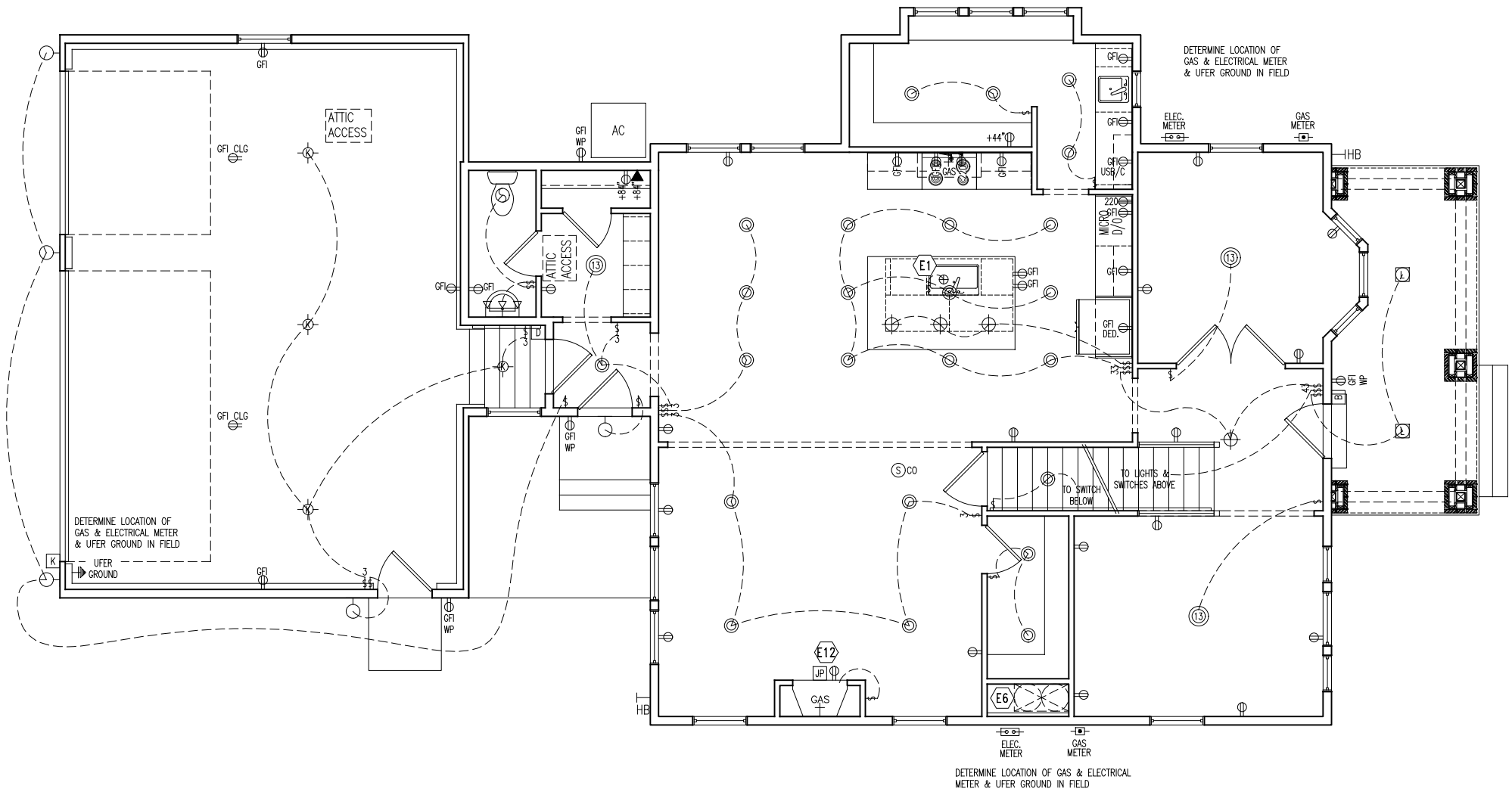
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TITLE
BASEMENT ELEC. PLAN

E11

MAIN FLOOR ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"



HVAC NOTES	
1.	THERMOSTAT LOCATION(S) TBD IN THE FIELD BY TRADE
2.	HVAC SYSTEM COMPONENTS SHOWN IN THE PLANS SUCH AS SUPPLY AIR REGISTERS, COLD AIR RETURNS, HEAT TRUNKS, ETC. ARE REPRESENTATIONS ONLY
THE MANUAL J&D DOCUMENT PREPARED BY A LICENSED MECHANICAL ENGINEER WILL GOVERN ACTUAL PLACEMENT & SIZE OF HVAC SYSTEM COMPONENTS IN COMPLIANCE WITH CURRENT MECHANICAL CODE	

ELECTRICAL NOTES	
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5.	CENTER OF ALL OUTLETS TO BE 18" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE. CENTER OF OUTLETS OVER CABINETS, VANITIES, ETC. TO BE 12" ABOVE FINISH COUNTER HEIGHT UNLESS NOTED OTHERWISE
6.	CONTRACTOR TO FIELD VERIFY LOCATION OF ALL ELECTRICAL FIXTURES, SWITCHES, ETC. WITH OWNER & DESIGNER PRIOR TO WIRING
7.	PROVIDE SLOPED RECESSED CANS FOR SLOPED CEILING APPLICATIONS & THERMAL PROTECTION CANS WHERE IN CONTACT WITH INSULATION AS REQUIRED
8.	CONTRACTOR TO PROVIDE ELECTRICAL SERVICE TO MECHANICAL EQUIPMENT AS REQUIRED

ELECTRICAL SYMBOLS LEGEND			
A. LOCATION IS REPRESENTATIONAL ONLY. FINAL LOCATION TO BE DETERMINED BY LICENSED PROFESSIONAL AT INSTALL.			
B. P.W. INDICATES PRE-WIRED FIXTURES			
⚡	SINGLE POLE TOGGLE SWITCH	⚡ ^D	DIMMER SWITCH
⚡ ³	3-WAY TOGGLE SWITCH	⚡ ^{DEF}	110 VOLT GROUND FAULT INTERRUPTER
⚡ ⁴	4-WAY TOGGLE SWITCH		ARC FAULT PROTECTION AS REQ'D BY CODE
⚡	110 VOLT DUPLEX OUTLET	⚡ ^{EV}	ELECTRIC VEHICLE 220 VOLT 50 AMP, DEDICATED GFI OUTLET
⚡	220 VOLT OUTLET		
⚡	LED RECESSED CAN	Ⓢ	110 VOLT SMOKE DETECTOR WITH BATT BACK-UP
Ⓜ	RG6		110 VOLT SMOKE DETECTOR WITH BATT BACK-UP & CARBON MONOXIDE DETECTOR
Ⓜ	GARAGE DOOR OPENER	Ⓢ ^{CO}	(1) RG6, (2) CAT 6
Ⓜ	KEYLESS ENTRY		(1) 120V DUPLEX OUTLET
Ⓜ	DOORBELL	Ⓜ ^{JP}	RUN CONDUIT FROM ELECTRICAL PANEL FOR FUTURE EV CHARGER
Ⓜ	6" DISC LIGHT		
Ⓜ	13" DISC LIGHT	Ⓜ ^{EC}	CAT 6 WIRING, SINGLE LINE U.N.O. #DESIGNATES REQ'D PORT OUTLETS
Ⓜ	PENDANT / CHANDELIER		
Ⓜ	WALL MOUNT FIXTURE	▼	
Ⓜ	VANITY WALL MOUNT FIXTURE		
Ⓜ ^{GFI WP}	110V WATERPROOF GFI OUTLET		
Ⓜ	EXHAUST FAN		
Ⓜ	DISPOSAL		
Ⓜ	CEILING FAN		

- KEYNOTES
- ⌚ DISPOSAL AND SWITCH
 - ⌚ LOCATE (1) DEDICATED 110 VOLT DUPLEX OUTLET IN ATTIC SPACE NEAR ATTIC ACCESS FOR RADON MITIGATION SYSTEM FAN
 - ⌚ TV PRE-WIRE WITH SMURF TUBE AND JACK PACK SEE DETAIL K/A6.1

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Destination Homes

project:
DAYBREAK
SOUTH JORDAN, UTAH
plan:
JUNIPER
ARTS & CRAFTS

DATE
OCTOBER 08, 2025

VERSION 1.0

HOMEBUYER
DESTINATION HOMES

DATA
LOT NO: 0-000

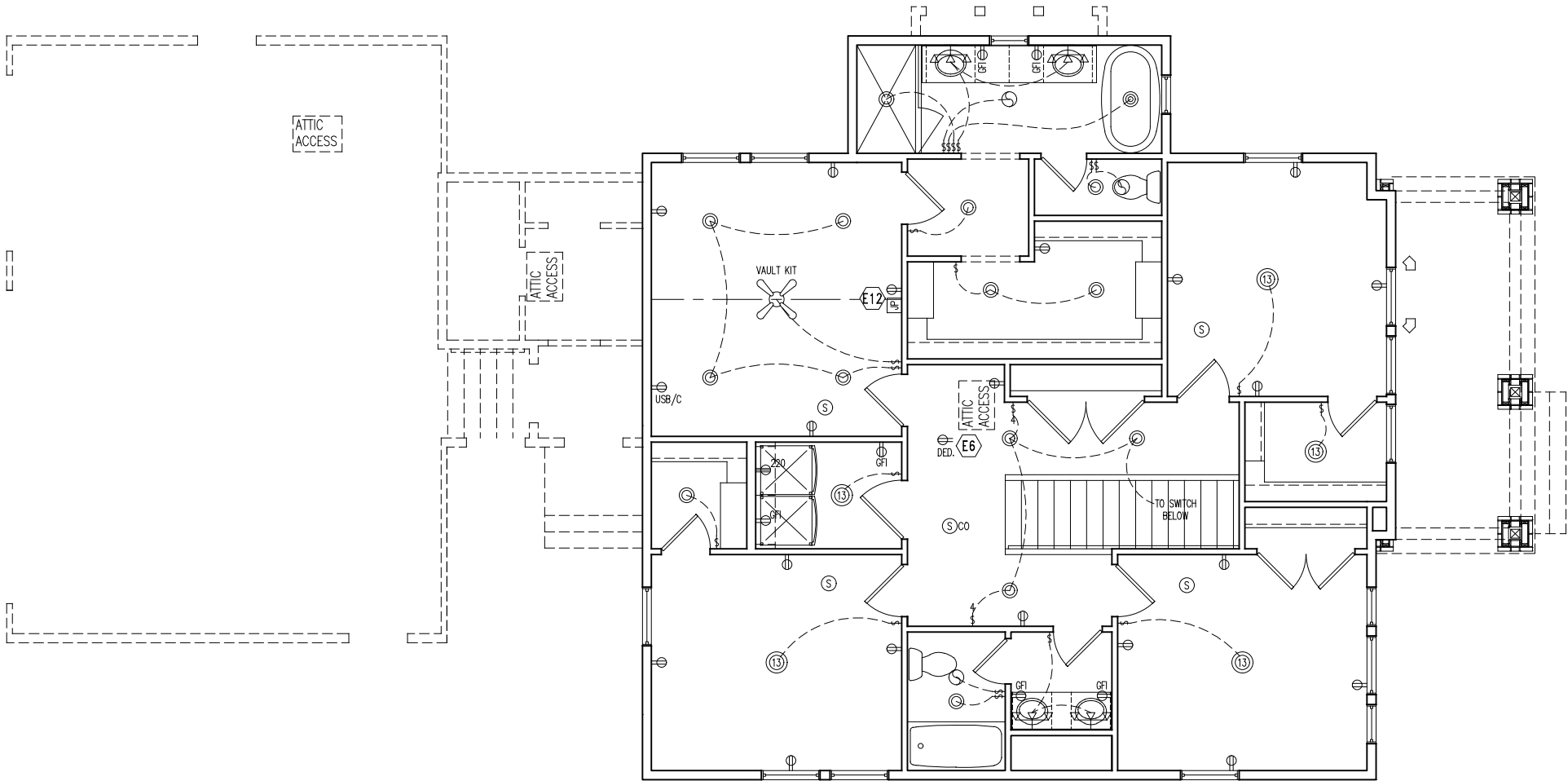
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TITLE
MAIN ELEC. PLAN

E12

UPPER FLOOR ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"



HVAC NOTES	
1.	THERMOSTAT LOCATION(S) TBD IN THE FIELD BY TRADE
2.	HVAC SYSTEM COMPONENTS SHOWN IN THE PLANS SUCH AS SUPPLY AIR REGISTERS, COLD AIR RETURNS, HEAT TRUNKS, ETC. ARE REPRESENTATIONS ONLY
THE MANUAL J&D DOCUMENT PREPARED BY A LICENSED MECHANICAL ENGINEER WILL GOVERN ACTUAL PLACEMENT & SIZE OF HVAC SYSTEM COMPONENTS IN COMPLIANCE WITH CURRENT MECHANICAL CODE	

ELECTRICAL NOTES	
1.	SEE SHEETS A0-2 FOR ELECTRICAL PROJECT KEY NOTES & INFORMATION
2.	ELECTRICAL LAYOUTS ARE SHOWN IN SCHEMATIC, THE CONTRACTOR IS RESPONSIBLE TO COORDINATE THE LAYOUT & INSTALLATION OF ALL RELATED ITEMS WITH EXISTING CONDITIONS AND RELATED TRADES
3.	COORDINATE WITH OWNER, DESIGNER &/OR PLANS FOR FIXTURE SCHEDULES, STYLES, FINISHES, ETC.
4.	ALL WORK TO COMPLY WITH CURRENT N.E.C. CODES & 2021 IRC
5.	CENTER OF ALL OUTLETS TO BE 18" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE. CENTER OF OUTLETS OVER CABINETS, VANITIES, ETC. TO BE 12" ABOVE FINISH COUNTER HEIGHT UNLESS NOTED OTHERWISE
6.	CONTRACTOR TO FIELD VERIFY LOCATION OF ALL ELECTRICAL FIXTURES, SWITCHES, ETC. WITH OWNER & DESIGNER PRIOR TO WIRING
7.	PROVIDE SLOPED RECESSED CANS FOR SLOPED CEILING APPLICATIONS & THERMAL PROTECTION CANS WHERE IN CONTACT WITH INSULATION AS REQUIRED
8.	CONTRACTOR TO PROVIDE ELECTRICAL SERVICE TO MECHANICAL EQUIPMENT AS REQUIRED

ELECTRICAL SYMBOLS LEGEND		
A. LOCATION IS REPRESENTATIONAL ONLY. FINAL LOCATION TO BE DETERMINED BY LICENSED PROFESSIONAL AT INSTALL.		
B. P.W. INDICATES PRE-WIRED FIXTURES		
⌚	SINGLE POLE TOGGLE SWITCH	⌚ ^D DIMMER SWITCH
⌚ ³	3-WAY TOGGLE SWITCH	⌚ ^D 110 VOLT GROUND FAULT INTERRUPTER
⌚ ⁴	4-WAY TOGGLE SWITCH	⌚ ^D ARC FAULT PROTECTION AS REQ'D BY CODE
⌚	110 VOLT DUPLEX OUTLET	⌚ ^D ELECTRIC VEHICLE 220 VOLT 50 AMP DEDICATED GFI OUTLET
⌚	220 VOLT OUTLET	⌚ ^D 110 VOLT SMOKE DETECTOR WITH BATT BACK-UP
⌚	LED RECESSED CAN	⌚ ^D 110 VOLT SMOKE DETECTOR WITH BATT BACK-UP & CARBON MONOXIDE DETECTOR
⌚	RG6	⌚ ^D (1) RG6, (2) CAT 6 (1) 120V DUPLEX OUTLET
⌚	GARAGE DOOR OPENER	⌚ ^D RUN CONDUIT FROM ELECTRICAL PANEL FOR FUTURE EV CHARGER
⌚	KEYLESS ENTRY	⌚ ^D CAT 6 WIRING, SINGLE LINE, U.N.O. #DESIGNATES REQ'D PORT OUTLETS
⌚	DOORBELL	
⌚	6" DISC LIGHT	
⌚	13" DISC LIGHT	
⌚	PENDANT / CHANDELIER	
⌚	WALL MOUNT FIXTURE	
⌚	VANITY WALL MOUNT FIXTURE	
⌚	110V WATERPROOF GFI OUTLET	
⌚	EXHAUST FAN	
⌚	DISPOSAL	
⌚	CEILING FAN	

- KEYNOTES
- ⌚^{E6} LOCATE (1) DEDICATED 110 VOLT DUPLEX OUTLET IN ATTIC SPACE NEAR ATTIC ACCESS FOR RADON MITIGATION SYSTEM FAN
 - ⌚^{E12} TV PRE-WIRE WITH SMURF TUBE AND JACK PACK SEE DETAIL K/A6.1

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TITLE
UPPER ELEC. PLAN

E13

GENERAL STRUCTURAL NOTES

- CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES, OMISSIONS, OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS PRIOR TO PROCEEDING WITH ANY WORK INVOLVED.
- IN ALL CASES, U.N.O., THE MOST STRINGENT REQUIREMENTS SHALL GOVERN AND BE PERFORMED.
- DO NOT SCALE DRAWINGS.
- ANY SPECIAL INSPECTION REQUIRED BY THE BUILDING OFFICIAL OR THE BUILDING CODE(S) IS THE RESPONSIBILITY OF THE CONTRACTOR.

FOOTING AND FOUNDATION NOTES

- ALL FOOTINGS ARE BASED ON ALLOWABLE SOIL BEARING PRESSURE OF 1500 PSF. BUILDER SHALL VERIFY ALLOWABLE SOIL BEARING PRESSURE AND NOTIFY THE ENGINEER IF IT IS LESS THAN 1500 PSF.
- FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR ENGINEERED GRANULAR FILL COMPACTED TO 95% OF MAXIMUM DENSITY. NO FOOTINGS SHALL BE PLACED IN WATER OR FROZEN GROUND.
- ALL FOOTINGS MIN. 30" BELOW FINISH GRADE, CONTINUOUS AND MONOLITHIC POUR.
- CHANGES IN ELEV. SHALL BE STEPPED WITH STEP HEIGHT NOT HIGHER THAN 1/2 THE STEP LENGTH AND NOT GREATER THAN 4 FT. MIN. 6" THICKNESS ON VERT. STEP. FOOTINGS TO HAVE A MINIMUM OF (2) #4 BAR CONTINUOUS. NOTIFY ENGINEER IF GRADE DROPS OVER 8 FEET IN 24 FEET (G.T. 1 TO 3 SLOPE) SO THAT APPROPRIATE DESIGN CHANGES MAY BE MADE TO FOUNDATION AND FOOTINGS.
- THE ENGINEER OF RECORD AND GEOTECHNICAL ENGINEER SHALL BE NOTIFIED OF ANY ANOMALOUS SOIL CONDITIONS ENCOUNTERED DURING EXCAVATION.
- THIS ENGINEERING ASSUMES THAT THE SITE IS DRY AND STABLE AND DOES NOT PROVIDE ANY WARRANTY OF ANY KIND AGAINST SITE STABILITY OR PERFORMANCE. VERIFICATION OF ALL SITE CONDITIONS INCLUDING SITE STABILITY IS THE RESPONSIBILITY OF OTHERS. BUILDER SHALL ENSURE THAT THE REQUIREMENTS LISTED IN FIGURE R403.1.7.1 2006 IRC ARE MET, OR NOTIFY ENGINEER SO AN APPROPRIATE SOLUTION CAN BE DEVELOPED PRIOR TO START.
- ALL FOOTINGS, FOUNDATIONS, AND INTERIOR SLABS SHALL BE NORMAL WT. CONCRETE WITH A COMPRESSIVE STRENGTH EQUAL TO AT LEAST 3,000 PSI WITHIN 28 DAYS AFTER POURING. THE WATER/CEMENT RATIO SHALL BE NO GREATER THAN .50 WITH A MINIMUM CEMENT CONTENT OF 504 LBS. PER CUBIC YARD ALL CONC WORK SHALL BE PLACED, CURED, STRIPPED, AND PROTECTED AS DIRECTED BY THE SPECIFICATIONS AND ACI STANDARDS AND PRACTICES.
- ALL REINFORCING SHALL BE DETAILED AND PLACED IN ACCORDANCE WITH ACI DETAILING MANUAL 315-77 AND ACI STANDARD 318-83. REINFORCEMENT SHALL BE FREE FROM MUD AND OIL AND OTHER NON-METALLIC COATINGS THAT HAMPER BONDING CAPACITY.
- USE 5/8 X 10" ANCHOR BOLTS @ 32" O.C. UNLESS NOTED OTHERWISE.
- OWNER/CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS LISTED ON THE DRAWING.
- ALL SPLICES IN REINFORCEMENT SHALL LAP A MINIMUM OF 30 BAR DIAMETERS. UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION JOINTS SHALL BE KEYED WITH A KEY 1- 1/2" DEEP AND A WIDTH OF 1/2 THE MEMBER.
- ALLOW 28 DAYS FOR CONCRETE TO CURE PRIOR TO BACKFILL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR Laterally Supporting Foundation Walls While Backfilling and UNTIL ALL SUPPORTING MEMBERS HAVE BEEN PLACED (SUCH AS FLOORS). BACKFILL IN 8" LIFTS TO 90% MAXIMUM DENSITY.
- INTERIOR SLABS ON GRADE SHALL BE A MINIMUM OF 4" THICK, SHALL BEAR ON A 4 INCH MINIMUM LAYER OF FREE-DRAINING GRAVEL UNLESS NOTED OTHERWISE.
- SEE ADDITIONAL FOUNDATION, CONCRETE AND REINFORCING NOTES ON DETAIL SHEET SD1 FOR ALL FOOTING & FOUNDATION RELATED DETAILS.
- TYPICAL DETAILS ON STRUCTURAL DETAIL SHEETS SHOULD BE FOLLOWED IN ALL LOCATIONS WHERE THE TYPICAL CONDITION DEPICTED ARISES, EVEN IF THE DETAIL IS NOT SPECIFICALLY CALLED OUT AT THAT LOCATION.
- SLAB INSULATION TO BE INSTALLED PER RESCHCEK.

DESIGN CRITERIA	
GOVERNING CODE.....	2021 IBC
SEISMIC DESIGN CRITERIA	
I = 1.00	
R = 6.5	
SEISMIC DESIGN CATEGORY: D	
BASIC 3 SEC. WIND SPEED.....	115 MPH
WIND EXPOSURE: C	
ROOF	
DEAD LOAD	15 PSF
SNOW LOAD	30 PSF
FLOOR	
DEAD LOAD	15 PSF
LIVE LOAD	40 PSF
SOIL BEARING PRESSURE.....1500 PSF (ASSUMED)*	
*REFER TO THE PROJECT GEOTECHNICAL REPORT	
STANDARD OCCUPANCY	

GENERAL FRAMING NOTES

- THE CONTRACTOR SHALL USE THE GRADES OF LUMBER SPECIFIED IN THE BEAM SCHEDULES LISTED ON DRAWING. DEEPER, WIDER, OR BETTER GRADES OF LUMBER MAY BE SUBSTITUTED, ANY OTHER CHANGES MUST BE APPROVED BY THE ENGINEER.
- (2) 2"x10" DF#2 OR BTR W/FILLER SHALL BE USED FOR ALL LOAD-BEARING WINDOW AND DOOR HEADERS UNLESS NOTED OTHERWISE ON DRAWING. TIMBERSTRAND LSL HEADERS MAY BE SUBSTITUTED FOR THE (2) 2"x10" DF#2 OR BTR.
- (2) 1-3/4"x9-1/2" LVLs SHALL BE USED FOR ALL HEADERS SUPPORTING A GIRDER TRUSS UNLESS NOTED OTHERWISE ON DRAWING.
- ALL MULTIPLE BEAMS AND HEADERS SHALL BE NAILED USING 2 ROWS OF 16d NAILS @ 12" O.C.
- ALL POINT LOADS SHALL BE SOLID BLOCKED TO THE FOUNDATION.
- USE DOUBLE TRIMMERS TO SUPPORT BEAMS AND HEADERS GREATER THAN 4 FEET LONG UNLESS NOTED OTHERWISE ON DRAWING.
- USE SIMPSON OR EQUIVALENT HARDWARE TO CONNECT BEAMS 6" AND LONGER TO STUDS OR POSTS.
- THE CONTRACTOR SHALL FOLLOW THE MINIMUM FASTENING SCHEDULE LISTED IN IBC TABLE 2304.9.1.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO THE 2021 INTERNATIONAL BUILDING CODE.
- FIRE PROTECT ANY PART OF HOUSE THAT ENCROACHES SIDE SETBACKS.
- ALL BEARING WALLS SHALL BE FRAMED W/ 2X MEMBERS @ 16" O.C. UNLESS NOTED OTHERWISE.
- ANCHOR BASEMENT STAIRS TO CONCRETE FLOOR SLAB WITH 2X PRESSURE TREATED LUMBER, ANCHORED TO SLAB WITH CONCRETE NAILS. USE SIMPSON A35.
- ANCHOR STAIR STRINGERS TO STAIR LANDING WITH SIMPSON HU11, ITS, OR (2) A35.
- USE DOUBLE TOP PLATE WITH 48" MIN LAP SPICE.
- TYPICAL DETAILS ON STRUCTURAL DETAIL SHEETS SHOULD BE FOLLOWED IN ALL LOCATIONS WHERE THE TYPICAL CONDITION DEPICTED ARISES, EVEN IF THE DETAIL IS NOT SPECIFICALLY CALLED OUT AT THAT LOCATION.

FLOOR SHEATHING NOTES

- TYPICAL FLOOR SHEATHING SHALL BE 3/4" (MINIMUM) T & G, APA RATED 40/20 CDX (OSB) SHEATHING NAILED WITH 10d NAILS AT 6" O.C. AT ALL PANEL ENDS, SUPPORTED EDGES, TOP OF WALLS AND ALL BLOCKING; 10d AT 12" O.C. ALONG INTERMEDIATE FRAMING MEMBERS, NAILING SHALL BE SPACED AT 3/8" MINIMUM FROM EDGE OF PANEL.
- LAY SHEATHING WITH FACE GRAIN AT RIGHT ANGLES TO FRAMING AND WITH END JOINTS STAGGERED. GLUE WITH GLUE CONFORMING TO AFG-1 ACCORDING TO APA SPECIFICATIONS.
- INSTALL FLOOR SHEATHING WITH FACE GRAIN AT RIGHT ANGLES TO FRAMING WITH END JOINTS STAGGERED.
- USE DOUBLE FLOOR JOISTS UNDER ALL LOAD BEARING WALLS RUNNING PARALLEL WITH FLOOR JOISTS.
- USE DOUBLE FLOOR JOISTS UNDER ALL SHEAR WALLS RUNNING PARALLEL WITH FLOOR JOISTS. NAIL BOTTOM PLATE TO JOISTS W/ 16d NAILS @ 3" O.C.
- USE DOUBLE JOISTS TO SOLID BLOCK UNDER ALL SHEAR WALLS RUNNING PERPENDICULAR TO FLOOR JOISTS. NAIL BOTTOM PLATE TO BLOCKING W/ 16d NAILS @ 3" O.C.
- ALL WOOD/LUMBER PLACED ONTO CONCRETE SHALL BE PRESSURE TREATED OR REDWOOD.
- UNLESS OTHERWISE SPECIFIED BY THE JOIST MANUFACTURERS OR PER PLAN, USE THE FOLLOWING SIMPSON CONNECTORS:
a. JOIST-TO-BEAM, USE SIMPSON ITS.
b. DOUBLE JOIST OR HEADER-TO-BEAM, USE SIMPSON
c. MIT 11-2. BEAM-TO-FLUSH BEAM, USE SIMPSON HB.
- ALL PENETRATIONS THRU JOISTS TO BE IN ACCORDANCE WITH JOIST MANUFACTURER SPECIFICATIONS. STRUCTURAL MEMBERS SHALL NOT BE NOTCHED OR CUT UNLESS APPROVED BY ENGINEER.
- BLOCK JOISTS SOLID AT ALL BEARING POINTS. SEE TYPICAL DETAIL. STIFFENERS PER JOIST MFGOR SPECS AT INTERIOR BEARING POINTS. - OPTION: PROVIDE WEB ON CONTINUOUS SPANS WITH NO BEARING WALLS ABOVE.
- INSTALL CROSS BRIDGING FOR WOOD I-JOISTS PER MANUFACTURER.
- POINT LOADS SHALL NOT BE SUPPORTED SOLELY BY FLOOR SHEATHING. ALL BEARING POINTS SHALL HAVE SQUASH BLOCKS TO SUPPORT BELOW. SQUASH BLOCKS SHALL BE EQUAL IN DEPTH TO FLOOR FRAMING DEPTH. FOR POSTS (3) 2X4 OR GREATER, LOWER POST SHALL RUN TO BOTTOM OF FLOOR SHEATHING AND STRAP TO POST ABOVE WITH (2) SIMPSON MST37.

SHEARWALL NOTES

- ALL EXTERIOR WALLS SHALL BE SHEATHED WITH 7/16" APA RATED OSB SHEATHING AND NAILED W/ 8d @ 6" O.C. EDGE, 12" O.C. FIELD UNLESS NOTED OTHERWISE.
- SHEATHING SHALL EXTEND CONTINUOUS FROM FLOOR SILL PLATE TO TOP PLATE OF UPPER WALL AND BE NAILED PER REQUIRED EDGE SPACING ALONG SILL PLATE AND TOP PLATE.
- NAILS SHALL BE PLACED NOT LESS THAN 1/2" FROM EDGE OF PANEL AND DRIVEN SO THAT THEIR HEAD OR CROWN IS FLUSH WITH THE SURFACE OF THE SHEATHING.
- ALL HORIZONTAL EDGES SHALL BE BLOCKED WITH 2" NOMINAL OR WIDER FRAMING. WHERE PANELS ARE APPLIED ON BOTH FACES OF A WALL AND NAIL SPACING IS LESS THAN 6" O.C., PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS OR FRAMING SHALL BE 3 INCH NOMINAL OR THICKER AND NAILS ON EACH SIDE SHALL BE STAGGERED.
- WHEN THE SHEAR WALL LENGTH IS LESS THAN THE ANCHOR BOLT SPACING MENTIONED IN THE SHEAR WALL SCHEDULE, USE ONE ANCHOR BOLT @ EACH END OF THE WALL.
- USE 2X TREATED SILL PLATE & 3" X 3" X 1/4" WASHERS WITH ALL THE ANCHOR BOLTS.
- SHEAR WALL EDGE NAILING SHALL BE INSTALLED TO THE SAME POSTS ON WHICH THE HOLD DOWNS ARE ATTACHED.
- SHEAR WALL SHEATHING MAY BE INSTALLED ON EITHER SIDE OF WALL FRAMING, UNLESS NOTED OTHERWISE ON PLANS.

ROOF FRAMING AND SHEATHING

- SHEATHING SHALL BE 7/16", 24/16, APA RATED SHEATHING. NAIL W/ 8d NAILS @ 6" O.C. 3/8" FROM EDGE OF PANEL AT ALL PANEL ENDS, SUPPORTED EDGES, SHEARWALL TOPS, AND ALL BLOCKING. NAIL @ 12" O.C. ALONG INTERMEDIATE FRAMING MEMBERS.
- LAY SHEATHING WITH FACE GRAIN AT RIGHT ANGLES TO FRAMING WITH STAGGERED END JOINTS
- USE TRUSSES AS LUMBER BLOCKING TO SUPPORT EDGE. IF LUMBER BLOCKING NOT AVAILABLE, USE H CLIPS AT SPANS LARGER THAN 24".
- USE 2X8'S (MINIMUM) AT 24" O.C. FOR OVERBUILD. THE MAXIMUM SPAN FOR THE 2X8'S IS 8 FT. OVER AREAS WHERE THE 2X8'S SPAN MORE THAN 8 FT, PROVIDE 2X8 PURLIN WITH 2X4 KICKER FROM 2X8 DOWN TO ROOF FRAMING PANEL POINTS. FORM VALLEYS IN OVERBUILD AREAS BY LAYING 2X10 FLAT AND NAIL TO EACH RAFTER WITH (2) 16d. CONNECT EACH 2X8 TO 2X10 WITH SIMPSON A35. SEE DETAILS. TYPICAL ROOF SHEATHING SHALL RUN CONTINUOUS UNDER/OVER FRAMING TO POINTS OF MAIN ROOF BEARING AND/OR INTERSECTION WITH VERTICAL WALL SHEATHING.
- PLACE (2) STUDS (MINIMUM) UNDER ALL BEAMS AND GIRDER TRUSS BEARING POINTS UNLESS NOTED OTHERWISE ON THE PLANS.
- PROVIDE HEADERS PER PLAN AT ALL OPENINGS IN EXTERIOR AND INTERIOR BEARING WALLS EXCEPT AS NOTED AND/OR SHOWN OTHERWISE.
- ALL RAFTERS AT "STICK BUILT" AREAS TO BE 2X8 AT 24" O.C., U.N.O.
- TYPICAL DETAILS ON STRUCTURAL DETAIL SHEETS SHOULD BE FOLLOWED IN ALL LOCATIONS WHERE THE TYPICAL CONDITION DEPICTED ARISES, EVEN IF THE DETAIL IS NOT SPECIFICALLY CALLED OUT AT THAT LOCATION.

ROOF TRUSS NOTES

- ROOF TRUSSES SHALL BE DESIGNED TO MEET THE LOADS SPECIFIED IN THE DESIGN CRITERIA. ALL TRIBUTARY, DRIFT, UNBALANCED SNOW, MECHANICAL, ETC., LOADS SHALL BE CONSIDERED IN THE DESIGN PER REQUIREMENTS OF LATEST EDITIONS OF IRC AND IBC.
- PRE-BUILT TRUSS DESIGN BY TRUSS MANUFACTURER PER I.R.C. & I.B.C. STANDARDS AND LOCAL BUILDING CODES, LATEST EDITIONS.
- TRUSSES SHALL BE DESIGNED FOR THE UNIFORM ROOF LOADS SHOWN IN THE DESIGN CRITERIA AND FOR:
BOTTOM CHORD DEAD LOAD (DL) 5 PSF

TRUSSES AND GIRDER TRUSSES SHALL BE DESIGNED FOR ALL TRIBUTARY LOADING; ROOF TRUSSES SHALL BE DESIGNED FOR UNBALANCED SNOW LOADS, EAVE LOADS, DRIFT AND SLIDING LOADS.
- THE CONTRACTOR SHALL BLOCK BETWEEN TRUSSES AND CONNECT EACH TRUSS TO WALL TOP PLATE WITH SIMPSON H1 CONNECTORS.
- DESIGN TRUSSES TO LIMIT SPAN DEFLECTION TO L/360.
- ANY CHANGES TO THE TRUSS CONFIGURATION SHOWN ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION. FIELD VERIFY DIMENSIONS WITH CONTRACTOR PRIOR TO FABRICATION.
- TRUSS MANUFACTURER IS RESPONSIBLE TO PROVIDE WEB AND CHORD MEMBERS TO SATISFY LOAD REQUIREMENT. MULTIPLE TRUSSES SHALL BE BOLTED/ATTACHED TOGETHER ACCORDING TO MANUFACTURERS' SPECIFICATIONS TO EVENLY DISTRIBUTE LOADING. GIRDER TRUSS CONNECTIONS SHALL BE DESIGNED AND SUPPLIED BY TRUSS SUPPLIER/MANUFACTURER.
- SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW BY THE LOCAL BLDG. OFFICIAL PRIOR TO FABRICATION OR ERECTION AND SHALL BE STAMPED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE WHERE THIS STRUCTURE IS LOCATED.
- TRUSS PRE-ENGINEERED JOINT CONNECTORS SHALL HAVE I.C.B.O. CERTIFICATION.
- TRUSS MANUFACTURER TO SUPPLY TRUSS BLOCKING PER DRAWINGS AND AT TRUSS BEARING CONDITIONS WITH HEEL HEIGHTS EXCEEDING 10-1/2".
- TRUSS HANGERS, CONNECTIONS, BRIDGING, AND BLOCKING AS WHERE NOTED OR REQUIRED SHALL BE PROVIDED BY TRUSS MANUFACTURER.UNLESS OTHERWISE SPECIFIED BY THE TRUSS MANUFACTURERS OR PER PLAN, USE THE FOLLOWING CONNECTORS:
A. TRUSS-TO-GIRDER TRUSS OR BEAM, USE SIMPSON THA29.
B. JACK TRUSSES-TO-GIRDER TRUSS, USE SIMPSON U26.
C. HIP GIRDER-TO-GIRDER TRUSS,USE SIMPSON THUR/L-2
D. GIRDER TRUSSES-TO-GIRDER TRUSS, USE SIMPSON THG2A (MINIMUM).
E. SKEWED HIP/JACK TRUSSES-TO-HIP GIRDER, USE SIMPSON SUR/L26.
F. GIRDER TRUSS-TO-GLU-LAM BEAM, USE SIMPSON M9U.
- ALL ENGINEERING TRUSS SUBMITSALS SHALL BE STAMPED BY A ENGINEER LICENSED IN THE STATE OF UTAH.

LUMBER AND FRAMING

- SI. LUMBER GRADES SHALL BE AS FOLLOWS (OR BETTER):

GLU-LAM BEAMS (SIMPLE SPAN)	24F-V4 DF/DF
GLU-LAM BEAMS (CANTILEVERD)	24F-V4 DF/DF
JOISTS AND RAFTERS	DOUGLAS FIR #2
BEAMS AND HEADERS	DOUGLAS FIR #2
POSTS	DOUGLAS FIR #1
STUDS (EXT. WALLS & BRG WALLS)	DOUGLAS FIR #2
STUDS (INT. NON-BEARING)	HEM FIR STUD
SILL PLATES ON CONCRETE	REDWOOD OR P.T. DOUG FIR #2+
PRE-FAB TRUSSES	PER MANUFACTURER
- WHERE NOT NOTED OTHERWISE, CONNECT ALL WOOD TO CONCRETE, WOOD TO STEEL AND WOOD TO WOOD (EXCEPT STUD TO PLATE) WITH SIMPSON METAL CONNECTORS.
- STUD WALLS SHALL RUN CONTINUOUS BETWEEN POINTS OF HORIZONTAL SUPPORT. PROVIDE BRACING WHERE OTHERWISE INDICATED.
- MINIMUM NAILING SHALL BE AS PER THE ATTACHED SCHEDULE.
- ALL MULTIPLE PLATES AND LEDGERS SHALL BE NAILED TOGETHER WITH 16d NAILS AT 8" O.C.
- ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED LUMBER OR FOUNDATION REDWOOD. ALL WOOD STRUCTURAL MEMBERS EXPOSED TO WEATHER SHALL BE TREATED OR PROTECTED TO PREVENT MOISTURE ACCUMULATION ON THE SURFACE. ENDS OF UNTREATED WOOD MEMBERS ENTERING EXTERIOR MASONRY OR CONCRETE WALLS SHALL HAVE A CLEARANCE OF NOT LESS THAN 1/2" ON TOP, SIDES, AND ENDS.

CONCRETE

- ALL CONCRETE WORK SHALL COMPLY WITH AMERICAN CONCRETE INSTITUTE (ACI) CURRENT EDITIONS OF:
ACI 301: SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS
ACI 318: BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE
ACI 347: RECOMMENDED PRACTICE FOR CONCRETE FORM WORK
- MATERIALS:
A. CEMENT SHALL CONFORM TO ASTM C150, TYPE II, PORTLAND CEMENT
B. HARD ROCK AGGREGATES SHALL CONFORM TO ASTM C33. LIGHTWEIGHT AGGREGATES SHALL CONFORM TO ASTM C330.
C. WATER SHALL BE POTABLE.
D. AIR ENTRAINMENT SHALL CONFORM TO ASTM C260.
E. FLY ASH SHALL CONFORM TO ASTM C618.
F. CALCIUM CHLORIDE SHALL NOT BE USED.
- FOOTINGS, FOUNDATIONS, INTERIOR SLABS:
3,000 PSI @ 28 DAYS (MIN)
WATER/CEMENT RATIO 0.50--FOOTINGS
WATER/CEMENT RATION 0.45 ALL OTHERS
SLUMP < 4"
MIN CEMENT 575 LBS/ CU. YD.
PROVIDE 5% AIR ENTRAINMENT FOR CONCRETE OF THIS CLASS USED IN SLABS AND WALLS.
- ALL CONCRETE WORK SHALL BE PLACED, CURED, STRIPPED, AND PROTECTED AS DIRECTED BY THE SPECIFICATIONS AND PER LATEST EDITION OF ACI STANDARDS AND PRACTICES.
- BEFORE CONCRETE IS POURED CHECK WITH ALL TRADES TO INSURE PROPER PLACEMENT OF ALL OPENINGS, SLEEVES, CURBS, CONDUITS, BOLTS, INSERTS, HOLD-DOWNS, ETC., RELATIVE TO WORK.
- CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AND FORMWORK.
- CONCRETE SHALL BE PROPERLY VIBRATED DURING PLACEMENT.

CONCRETE REINFORCING

- ALL METAL REINFORCEMENT SHALL BE DEFORMED TYPE BARS (EXCEPT #2 BARS) AND SHALL CONFORM TO THE REQUIREMENTS OF THE "STANDARD SPECIFICATIONS ASTM A615, GRADE 60".
- ALL REINFORCEMENT BARS SHALL BE SECURELY ANCHORED AND HELD IN PLACE AND SHALL BE SPACED FROM ADJACENT SURFACES (UNLESS SHOWN OTHERWISE) AS FOLLOWS
A. FORMED SURFACES IN CONTACT WITH THE GROUND OR EXPOSED TO WEATHER (GRADE BEAMS, WALLS, ETC) AND SLABS ON GRADE....2 IN.
B. UNIFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH (BOTTOM AND SIDES OF FOOTINGS)....3 IN.
C. ALL CASED MINIMUM COVER SHALL NOT BE LESS THAN THE DIAMETER OF ADJACENT BARS.
- ALL REINFORCEMENT SHALL BE DETAILED AND PLACED IN ACCORDANCE WITH THE LATEST EDITION OF ACI DETAILING MANUAL 315 AND ACI STANDARD 318.
- REINFORCEMENT SHALL BE FREE FROM MUD, OIL, OR OTHER NON-METALLIC COATINGS THAT ADVERSELY AFFECT BONDING CAPACITY.
- ALL OPENINGS IN CONCRETE WALLS SHALL BE REINFORCED WITH TWO #4 BARS EXTENDING 2 FT. MIN. BEYOND THE EDGE OF THE OPENING AT EACH FACE OF OPENING.

MASONRY VENEER ANCHORS

- MASONRY VENEER ANCHOR TIES SHALL BE ONE OF THE FOLLOWING:
DOVETAIL ANCHORS
DX-10 SEISMIC CLIP INTERLOCK SYSTEM BY HOHMANN & BARNARD
ARCHITECT AND ENGINEER APPROVED TWO PIECE ADJUSTABLE HOT-DIPPED GALVANIZED TIES.
- MAXIMUM TIE SPACING SHALL BE 16" O.C HORIZONTAL AND VERTICAL.
- PROVIDE CONTINUOUS HORIZONTAL GALVANIZED #9 WIRE IN CENTER THIRD OF MORTAR JOINTS AT 16" O.C. ENGAGE #9 WIRE WITH ALL ANCHOR TIES.
- CONSTRUCTION JOINTS IN MASONRY VENEER WALLS SHALL BE PROVIDED PER THE ARCHITECTURAL DRAWINGS, AND SHALL BE SPACED A MAXIMUM OF 15'-0" FOR MASONRY BLOCK VENEER.

Destination Homes

project:
DAYBREAK
SOUTH JORDAN, UTAH

plan:
JUNIPER
ARTS & CRAFTS

DATE
OCTOBER 08, 2025

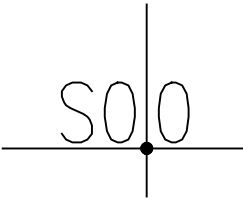
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HOMEBUYER
DESTINATION HOMES

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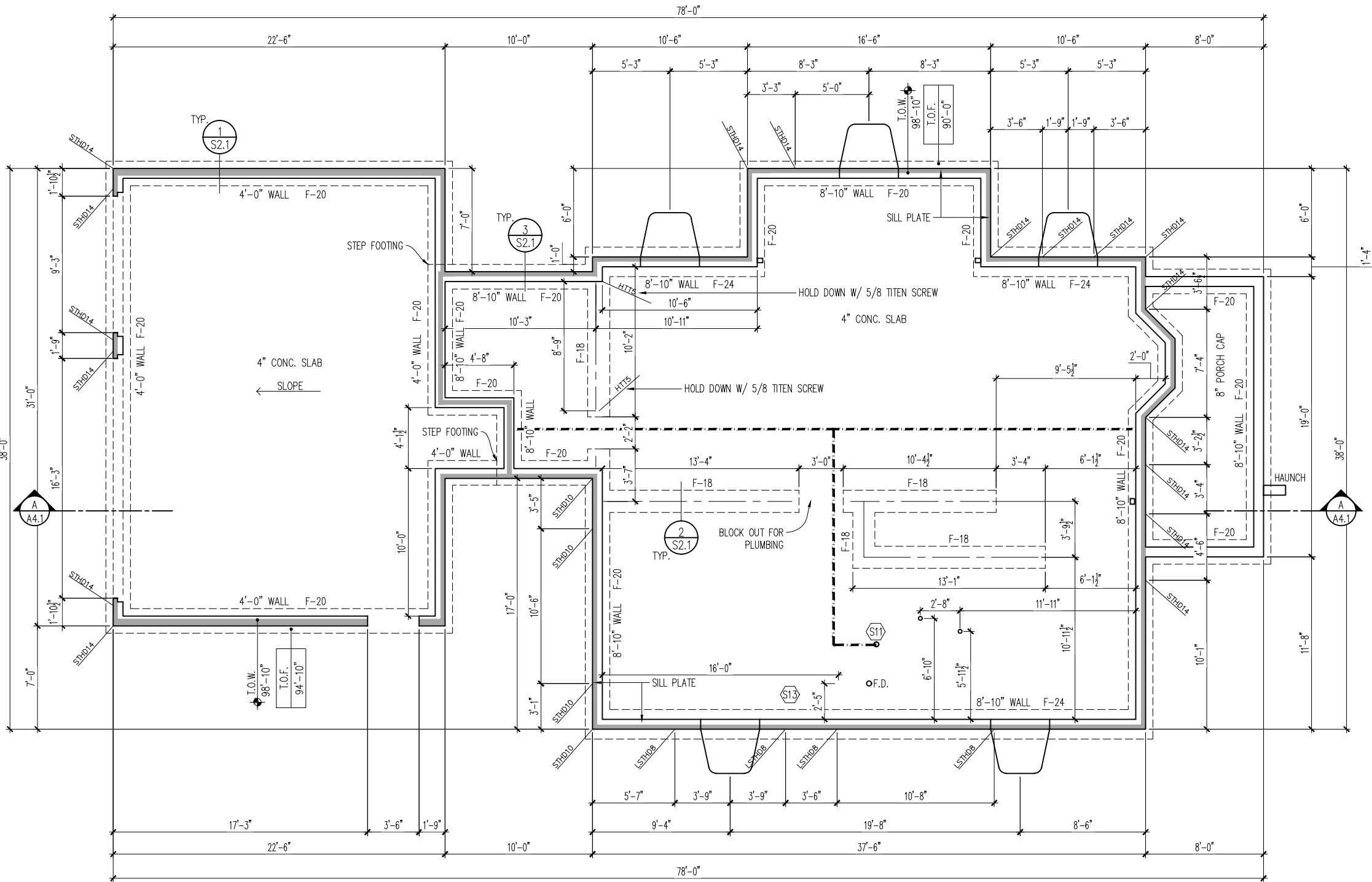
TITLE
STRUCTURAL
NOTES



FOUNDATION PLAN

SCALE: 1/8" = 1'-0"

9' FOUNDATION WALLS



FOOTING SCHEDULE				
TYPE	WIDTH	LENGTH	THICKNESS	REINFORCEMENT
F-16	16"	CONT.	10"	2: # 4 BARS CONT.
F-18	18"	CONT.	10"	2: # 4 BARS CONT.
F-20	20"	CONT.	10"	2: # 4 BARS CONT.
F-24	24"	CONT.	10"	3: # 4 BARS CONT.
F-30	30"	CONT.	10"	3: # 4 BARS CONT.
F-36	36"	CONT.	10"	4: # 4 BARS CONT.
S-24	24"	24"	10"	3: # 4 BARS EACH WAY
S-30	30"	30"	10"	3: # 4 BARS EACH WAY
S-36	36"	36"	10"	4: # 4 BARS EACH WAY
S-40	40"	40"	12"	5: # 4 BARS EACH WAY
S-48	48"	48"	12"	6: # 4 BARS EACH WAY
S-60	60"	60"	12"	7: # 4 BARS EACH WAY

GENERAL STRUCTURAL NOTES	
1.	SEE SHEET S0.0 FOR STRUCTURAL DESIGN CRITERIA TABLE
2.	SEE SHEET S0.0 FOR ALL GENERAL & CONSTRUCTION TYPE SPECIFIC NOTES
3.	FLOOR FRAMING MUST BE CONNECTED TO FOUNDATION WALLS AT ALL LOCATIONS PER TYP. DETAILS 1/S2.2 & 2/S2.2
4.	CHECK GARAGE & DRIVEWAY HEIGHTS BEFORE SETTING WINDOW WELLS

- KEYNOTES
- (S1) 4" SCHEDULE 40 PIPE RUNNING FROM BELOW 4" CONC. SLAB THROUGH THE FLUE CHASE AND/OR WALL CAVITY, ATTIC, AND ROOF SHEATHING FOR RADON MITIGATION SYSTEM
- (S13) LOCATE BACKFLOW PREVENTOR IN MECH. ROOM W/ ADEQUATE CLEARANCE FOR FUTURE ACCESS

3,000 PSI CONCRETE FOUNDATION SCHEDULE 60,000 PSI STEEL									
MAXIMUM WALL HEIGHT FROM T.O. FOOTING	TOP EDGE SUPPORT	MIN. WALL WIDTH	VERTICAL WALL REINF. SIZE	HORIZONTAL WALL REINF. SPACING	ADDITIONAL REINF. FOR OPENINGS ABOVE 12" NO. SIZE	ADDITIONAL REINF. FOR OPENINGS BELOW 12" NO. SIZE	MAX. UNTEL. LENGTH	MIN. UNTEL. DEPTH	ADDITIONAL FTG. SIZE & REINF.
2'-0" TO 5'-0"	NONE	0'-8"	#4	18" O.C.	#4	18" O.C.	2'	0'-6"	SEE FTG. SCHEDULE
5'-1" TO 6'-0"	NONE	0'-8"	#4	12" O.C.	#4	18" O.C.	2'	0'-6"	30" 3 #4 x CONT
6'-1" TO 7'-0"	NONE	0'-8"	#4	9" O.C.	#4	18" O.C.	2'	0'-6"	30" 3 #4 x CONT
7'-1" TO 8'-0"	FLOOR	0'-8"	#4	18" O.C.	#4	18" O.C.	2'	0'-6"	SEE FTG. SCHEDULE
8'-1" TO 9'-0"	FLOOR	0'-8"	#4	14.5" O.C.	#4	18" O.C.	2'	0'-6"	SEE FTG. SCHEDULE
9'-1" TO 10'-0"	FLOOR	0'-8"	#4	10" O.C.	#4	12" O.C.	2'	0'-6"	SEE FTG. SCHEDULE
> 10'-0" +	REQ. ENG.	-	-	-	-	-	-	-	REQ. ENG.

A. REBAR TO BE PLACED IN THE CENTER OF THE WALL AND EXTEND FROM THE FOOTING TO WITHIN 3" OF THE TOP OF THE WALL.
B. #4 FOOTING DOWELS SHALL EXTEND 24" INTO THE FOUNDATION AND MATCH VERTICAL STEEL.
C. ONE BAR SHALL BE LOCATED IN THE TOP 3" AND ONE BAR IN THE BOTTOM 3" OF THE FOUNDATION WALL. (THE REMAINING EQUALLY SPACED BETWEEN)
D. BARS SHALL BE PLACED WITHIN 2" OF THE OPENING AND EXTEND 24" BEYOND THE EDGE OF THE OPENING.
E. PROVIDE A 24" OVERLAP FOR HORIZONTAL BARS.
F. ANCHOR BOLTS SHALL BE 5/8" DIA. x 12" EMBEDDED INTO CONCRETE 9" @ 32" O.C., QVAL. OF 2 PER WALL SEGMENT FOR 9'-0" OR GREATER FOUNDATIONS, UNLESS NOTED OTHERWISE ON THE SHEAR WALL SCHEDULE; 1/2" X 10" ANCHOR BOLTS ARE PERMISSIBLE FOR 8'-0" FOUNDATION WALLS OR LESS. USE 3" X 3" X 1/4" WASHERS FOR ALL ANCHOR BOLTS.
G. ALL FOUNDATION STEPS SHALL BE 2'-0" MINIMUM.
H. 7. SOIL BACKFILL SHALL BE SOIL CLASSIFICATION TYPES CM, CG, SM, SW-SM, ML, PER IBC TABLE 1610.1. VERIFICATION OF THE BACKFILL TYPE IS THE BUILDER'S RESPONSIBILITY.
I. ANY ANOMALOUS SOIL CONDITION ENCOUNTERED DURING EXCAVATION SUCH AS SUFFRAGE, HIGH MOISTURE CONTENT, IMPROPER DRAINAGE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING.
J. FOOTINGS ARE TO REST ON UNDISTURBED SOIL AND SHALL BE A MINIMUM OF 30 INCHES, OR LOCAL FROST DEPTH, BELOW THE FINISH GRADE.
K. FOUNDATION WALLS ARE DESIGNED FOR FINISHED GRADE OF THE BACKFILL TO BE A MINIMUM OF 12" DOWN FROM THE TOP OF THE WALL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THIS CONDITION IS MET.

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Destination
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project:
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HOMEBUYER
DESTINATION HOMES

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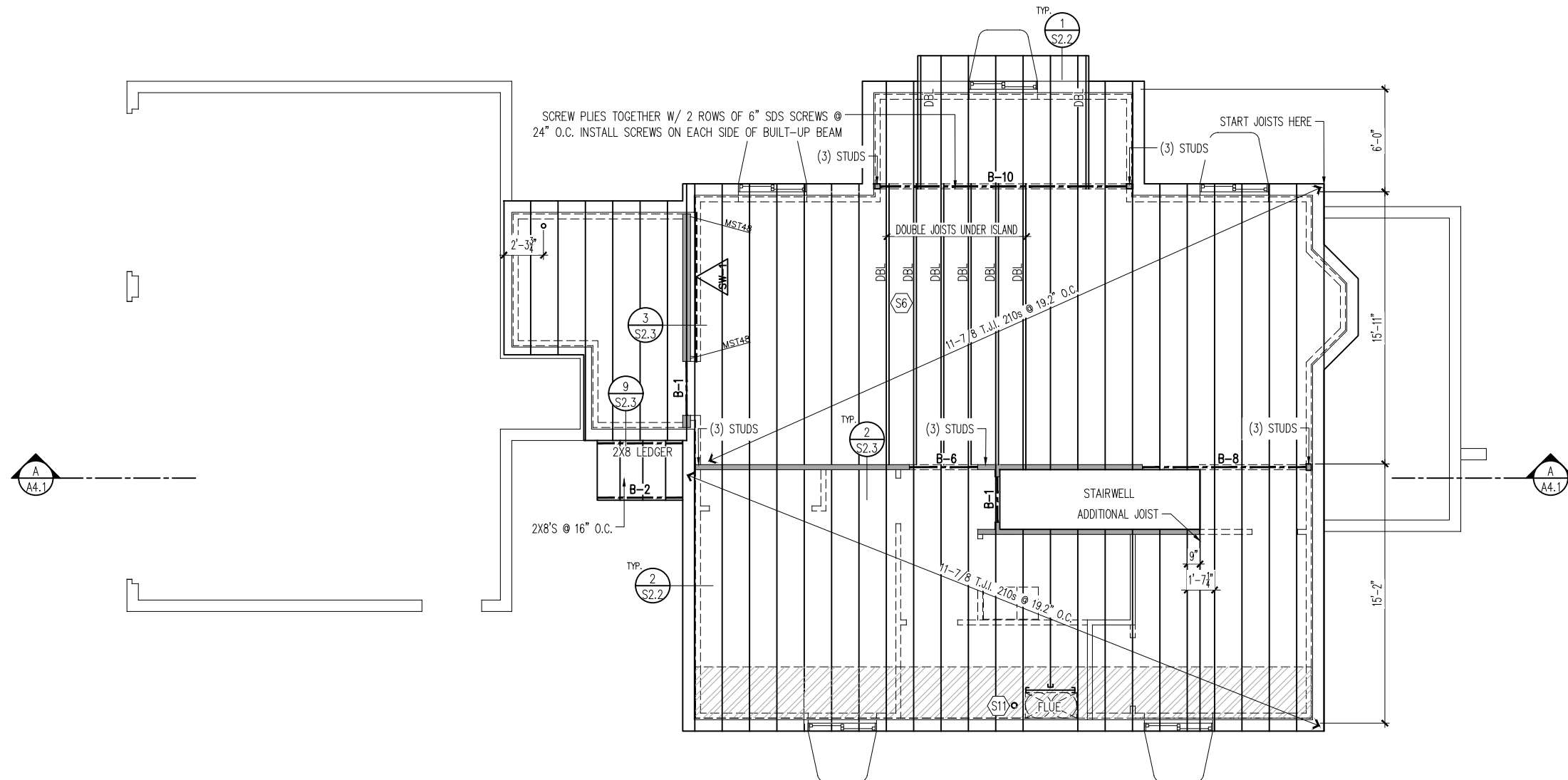
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TITLE
FOUNDATION PLAN

S11

SCALE: $1/8" = 1'-0"$

DOUBLE JOISTS AT KITCHEN ISLAND
4" SCHEDULE 40 PIPE RUNNING FROM
BELOW 4" CONC. SLAB THROUGH THE
FLUE CHASE AND/OR WALL CAVITY,
ATTIC, AND ROOF SHEATHING FOR
RADON MITIGATION SYSTEM



SHEAR WALL SCHEDULE				
TYPE	OSB SHEATHING	EDGE NAILING	FIELD NAILING	ANCHORAGE
SW-TYP	7/16 ONE SIDE	8d @ 6" O.C.	8d @ 12" O.C.	5/8" @ 32" O.C.*
SW-1	7/16 ONE SIDE	8d @ 4" O.C.	8d @ 12" O.C.	5/8" @ 24" O.C.**
SW-2	7/16 ONE SIDE	8d @ 3" O.C.	8d @ 12" O.C.	5/8" @ 16" O.C.**
SW-3	7/16 ONE SIDE	8d @ 2" O.C.	8d @ 12" O.C.	5/8" @ 12" O.C.**
SW-4	5/8" GYP ONE SIDE	6d @ 4" O.C.	8d @ 12" O.C.	16d NAILS @ 4" O.C.
SW-5	5/8" GYP ONE SIDE, BLOCKED	6d @ 4" O.C.	8d @ 12" O.C.	16d NAILS @ 4" O.C.

A.	ALL EXTERIOR WALL SHEATHING TO BE SW-TYP, UNLESS NOTED OTHERWISE.
B.	SW-TYP MAY USE 16d NAILS @ 6" O.C. ANCHORAGE FOR UPPER FLOOR.
C.	SW-1 MAY USE 16d NAILS @ 4" O.C. ANCHORAGE WHEN ABOVE FRAMING & NOT FOUNDATION.
D.	SW-2 & 3 MAY USE 16d NAILS @ 2" O.C. ANCHORAGE FOR UPPER FLOOR.
E.	SW-4 & SW-5 MAY USE No. 6 SCREWS IN PLACE OF 6d NAILS
F.	SW-4 & SW-5 SHALL USE 5/8" ANCHORAGE @ 24" O.C. WHEN OVER FOUNDATION.
G.	WHEN THE SHEAR WALL LENGTH IS LESS THAN THE ANCHOR BOLT SPACING MENTIONED IN THE TABLE, USE ONE ANCHOR BOLT @ EACH END OF THE WALL.
H.	USE 2X TREATED SILL PLATE & 3" x 3" x 1/4" WASHERS WITH THE ANCHOR BOLTS.
I.	SHEAR WALL EDGE NAILING SHALL BE INSTALLED TO THE SAME POSTS ON WHICH THE HOLD DOWNS ARE ATTACHED.
J.	SHEAR WALL SHEATHING MAY BE INSTALLED ON EITHER SIDE OF WALL FRAMING, UNLESS NOTED OTHERWISE ON PLANS.

FLOOR JOIST SPANS				
DEPTH		DEAD LOAD = 10 PSF		LIVE LOAD = 40 PSF
11-7/8"	TJI	12" O.C.	16" O.C.	19.2" O.C.
	110	20'-2"	18'-5"	17'-4"
	210	21'-1"	19'-3"	18'-2"
	230	21'-8"	19'-10"	18'-8"
	360	22'-11"	20'-11"	19'-8"
	560	26'-1"	23'-8"	22'-4"
A. 11-7/8" TJI JOISTS (SERIES 210) CAN BE SPACED AT 24" O.C. ON SPANS LESS THAN 17'-0". B. EQUIVALENT JOISTS FROM OTHER MANUFACTURERS ARE ACCEPTABLE.				

GENERAL STRUCTURAL NOTES	
1.	SEE SHEET S.O.0 FOR STRUCTURAL DESIGN CRITERIA TABLE
2.	SEE SHEET S.O.0 FOR ALL GENERAL & CONSTRUCTION TYPE SPECIFIC NOTES
3.	FLOOR FRAMING MUST BE CONNECTED TO FOUNDATION WALLS AT ALL LOCATIONS PER TYP. DETAILS 1/S2.2 & 2/S2.2
4.	CHECK GARAGE & DRIVEWAY HEIGHTS BEFORE SETTING WINDOW WELLS

BEAM SCHEDULE	
DEEPER, WIDER, OR BETTER GRADES OF LUMBER MAY BE SUBSTITUTED.	
OTHER SUBSTITUTIONS MUST BE APPROVED BY THE ENGINEER	
MARK	BEAM SIZE
B-1	(2) 2X6
B-2	(2) 2X8
B-3	(2) 2X10
B-4	(2) 2X12
B-5	(2) 1-3/4 X 7-1/4 LVL
B-6	(2) 1-3/4 X 9-1/2 LVL
B-7	1-3/4 X 11-7/8 LVL
B-8	(2) 1-3/4 X 11-7/8 LVL
B-9	(3) 1-3/4 X 11-7/8 LVL
B-10	(4) 1-3/4 X 11-7/8 LVL
B-11	(2) 1-3/4 X 14 LVL
B-12	5-1/8 X 12 GLB
B-13	5-1/8 X 15 GLB
B-14	5-1/8 X 16-1/2 GLB
B-15	5-1/8 X 18 GLB
B-16	(3) 1-3/4 X 14 LVL
B-17	(2) 1-3/4 X 16 LVL

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 DESTINATION HOMES

Destination Homes

project:
DAYBREAK
SOUTH JORDAN, UTAH

plan:
JUNIPER
ARTS & CRAFTS

DATE
OCTOBER 08, 2025

VERSION  1.0

HOME BUYER
DESTINATION HOMES

DATA
OT NO: 0-000

DRAWN BY: TBD
CHECKED BY: TBD

TITLE

MAIN FLOOR FRAMING PLAN

UPPER FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"

KEYNOTES

4" SCHEDULE 40 PIPE RUNNING FROM BELOW 4" CONC. SLAB THROUGH THE FLUE CHASE AND/OR WALL CAVTY, ATTIC, AND ROOF SHEATHING FOR RADON MITIGATION SYSTEM

SHEAR WALL SCHEDULE				
TYPE	OSB SHEATHING	EDGE NAILING	FIELD NAILING	ANCHORAGE
SW-TYP	7/16 ONE SIDE	8d @ 6" O.C.	8d @ 12" O.C.	5/8" @ 32" O.C.*
SW-1	7/16 ONE SIDE	8d @ 4" O.C.	8d @ 12" O.C.	5/8" @ 24" O.C.**
SW-2	7/16 ONE SIDE	8d @ 3" O.C.	8d @ 12" O.C.	5/8" @ 16" O.C.**
SW-3	7/16 ONE SIDE	8d @ 2" O.C.	8d @ 12" O.C.	5/8" @ 12" O.C.**
SW-4	5/8" GYP ONE SIDE	6d @ 4" O.C.	8d @ 12" O.C.	16d NAILS @ 4" O.C.
SW-5	5/8" GYP ONE SIDE, BLOCKED	6d @ 4" O.C.	8d @ 12" O.C.	16d NAILS @ 4" O.C.
A. ALL EXTERIOR WALL SHEATHING TO BE SW-TYP. UNLESS NOTED OTHERWISE. B. SW-TYP MAY USE 16d NAILS @ 6" O.C. ANCHORAGE FOR UPPER FLOOR. C. SW-1 MAY USE 16d NAILS @ 4" O.C. ANCHORAGE WHEN ABOVE FRAMING & NOT FOUNDATION. D. SW-2 & 3 MAY USE 16d NAILS @ 2" O.C. ANCHORAGE FOR UPPER FLOOR. E. SW-4 & SW-5 MAY USE No. 6 SCREWS IN PLACE OF 6d NAILS F. SW-4 & SW-5 SHALL USE 5/8" ANCHORAGE @ 24" O.C. WHEN OVER FOUNDATION. G. WHEN THE SHEAR WALL LENGTH IS LESS THAN THE ANCHOR BOLT SPACING MENTIONED IN THE TABLE, USE ONE ANCHOR BOLT @ EACH END OF THE WALL. H. USE 2X TREATED SILL PLATE & 3" X 3" X 1/4" WASHERS WITH ALL THE ANCHOR BOLTS. I. SHEAR WALL EDGE NAILING SHALL BE INSTALLED TO THE SAME POSTS ON WHICH THE HOLD DOWNS ARE ATTACHED. J. SHEAR WALL SHEATHING MAY BE INSTALLED ON EITHER SIDE OF WALL FRAMING, UNLESS NOTED OTHERWISE ON PLANS.				

FLOOR JOIST SPANS				
DEPTH	DEAD LOAD = 10 PSF		LIVE LOAD = 40 PSF	
11-7/8"	TJI	12" O.C.	16" O.C.	19.2" O.C.
	110	20'-2"	18'-5"	17'-4"
	210	21'-1"	19'-3"	18'-2"
	230	21'-8"	19'-10"	18'-8"
	360	22'-11"	20'-11"	19'-8"
	560	26'-1"	23'-8"	22'-4"
A. 11-7/8" TJI JOISTS (SERIES 210) CAN BE SPACED AT 24" O.C. ON SPANS LESS THAN 17'-0". B. EQUIVALENT JOISTS FROM OTHER MANUFACTURERS ARE ACCEPTABLE.				

GENERAL STRUCTURAL NOTES	
1.	SEE SHEET S0.0 FOR STRUCTURAL DESIGN CRITERIA TABLE
2.	SEE SHEET S0.0 FOR ALL GENERAL & CONSTRUCTION TYPE SPECIFIC NOTES
3.	FLOOR FRAMING MUST BE CONNECTED TO FOUNDATION WALLS AT ALL LOCATIONS PER TYP. DETAILS 1/S2.2 & 2/S2.2
4.	CHECK GARAGE & DRIVEWAY HEIGHTS BEFORE SETTING WINDOW WELLS

BEAM SCHEDULE	
DEEPER, WIDER, OR BETTER GRADES OF LUMBER MAY BE SUBSTITUTED.	
OTHER SUBSTITUTIONS MUST BE APPROVED BY THE ENGINEER	

MARK	BEAM SIZE
B-1	(2) 2X6
B-2	(2) 2X8
B-3	(2) 2X10
B-4	(2) 2X12
B-5	(2) 1-3/4 X 7-1/4 LVL
B-6	(2) 1-3/4 X 9-1/2 LVL
B-7	1-3/4 X 11-7/8 LVL
B-8	(2) 1-3/4 X 11-7/8 LVL
B-9	(3) 1-3/4 X 11-7/8 LVL
B-10	(4) 1-3/4 X 11-7/8 LVL
B-11	(2) 1-3/4 X 14 LVL
B-12	5-1/8 X 12 GLB
B-13	5-1/8 X 15 GLB
B-14	5-1/8 X 16-1/2 GLB
B-15	5-1/8 X 18 GLB
B-16	(3) 1-3/4 X 14 LVL
B-17	(2) 1-3/4 X 16 LVL

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Destination
Homes

project:
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SOUTH JORDAN, UTAH

plan:
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HOME BUYER
DESTINATION HOMES

DATA
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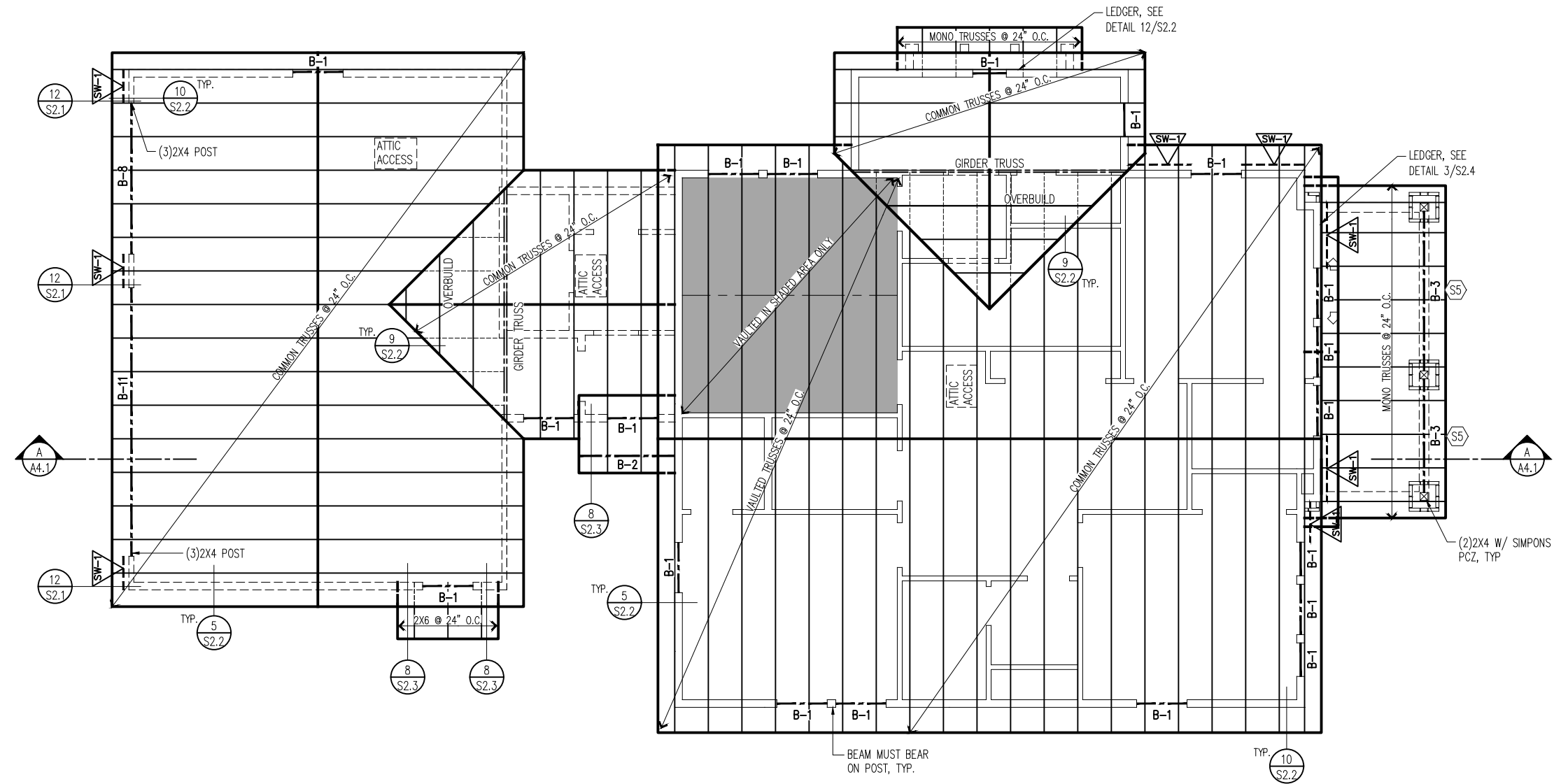
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TITLE
UPPER FLOOR FRAMING PLAN

S13

ROOF FRAMING PLAN

SCALE: 1/8" = 1'-0"



SHEAR WALL SCHEDULE				
TYPE	OSB SHEATHING	EDGE NAILING	FIELD NAILING	ANCHORAGE
SW-TYP	7/16 ONE SIDE	8d @ 6" O.C.	8d @ 12" O.C.	5/8" @ 32" O.C.*
SW-1	7/16 ONE SIDE	8d @ 4" O.C.	8d @ 12" O.C.	5/8" @ 24" O.C.**
SW-2	7/16 ONE SIDE	8d @ 3" O.C.	8d @ 12" O.C.	5/8" @ 16" O.C.**
SW-3	7/16 ONE SIDE	8d @ 2" O.C.	8d @ 12" O.C.	5/8" @ 12" O.C.**
SW-4	5/8" GYP ONE SIDE	6d @ 4" O.C.	8d @ 12" O.C.	16d NAILS @ 4" O.C.
SW-5	5/8" GYP ONE SIDE, BLOCKED	6d @ 4" O.C.	8d @ 12" O.C.	16d NAILS @ 4" O.C.

- A. ALL EXTERIOR WALL SHEATHING TO BE SW-TYP. UNLESS NOTED OTHERWISE.
- B. SW-TYP MAY USE 16d NAILS @ 6" O.C. ANCHORAGE FOR UPPER FLOOR.
- C. SW-1 MAY USE 16d NAILS @ 4" O.C. ANCHORAGE WHEN ABOVE FRAMING & NOT FOUNDATION.
- D. SW-2 & 3 MAY USE 16d NAILS @ 2" O.C. ANCHORAGE FOR UPPER FLOOR.
- E. SW-4 & SW-5 MAY USE No. 6 SCREWS IN PLACE OF 6d NAILS
- F. SW-4 & SW-5 SHALL USE 5/8" ANCHORAGE @ 24" O.C. WHEN OVER FOUNDATION.
- G. WHEN THE SHEAR WALL LENGTH IS LESS THAN THE ANCHOR BOLT SPACING MENTIONED IN THE TABLE, USE ONE ANCHOR BOLT @ EACH END OF THE WALL.
- H. USE 2X TREATED SILL PLATE & 3" X 3" X 1/4" WASHERS WITH ALL THE ANCHOR BOLTS.
- I. SHEAR WALL EDGE NAILING SHALL BE INSTALLED TO THE SAME POSTS ON WHICH THE HOLD DOWNS ARE ATTACHED.
- J. SHEAR WALL SHEATHING MAY BE INSTALLED ON EITHER SIDE OF WALL FRAMING, UNLESS NOTED OTHERWISE ON PLANS.

- | GENERAL STRUCTURAL NOTES | |
|--------------------------|---|
| 1. | SEE SHEET S0.0 FOR STRUCTURAL DESIGN CRITERIA TABLE |
| 2. | SEE SHEET S0.0 FOR ALL GENERAL & CONSTRUCTION TYPE SPECIFIC NOTES |
| 3. | FLOOR FRAMING MUST BE CONNECTED TO FOUNDATION WALLS AT ALL LOCATIONS PER TYP. DETAILS 1/S2.2 & 2/S2.2 |
| 4. | CHECK GARAGE & DRIVEWAY HEIGHTS BEFORE SETTING WINDOW WELLS |

KEYNOTES
(S5) PORCH BEAMS TO BE 2X10 MIN.
REQ'D BY ARCH. DESIGN

BEAM SCHEDULE	
DEEPER, WIDER, OR BETTER GRADES OF LUMBER MAY BE SUBSTITUTED.	
OTHER SUBSTITUTIONS MUST BE APPROVED BY THE ENGINEER	
MARK	BEAM SIZE
B-1	(2) 2X6
B-2	(2) 2X8
B-3	(2) 2X10
B-4	(2) 2X12
B-5	(2) 1-3/4 X 7-1/4 LVL
B-6	(2) 1-3/4 X 9-1/2 LVL
B-7	1-3/4 X 11-7/8 LVL
B-8	(2) 1-3/4 X 11-7/8 LVL
B-9	(3) 1-3/4 X 11-7/8 LVL
B-10	(4) 1-3/4 X 11-7/8 LVL
B-11	(2) 1-3/4 X 14 LVL
B-12	5-1/8 X 12 GLB
B-13	5-1/8 X 15 GLB
B-14	5-1/8 X 16-1/2 GLB
B-15	5-1/8 X 18 GLB
B-16	(3) 1-3/4 X 14 LVL
B-17	(2) 1-3/4 X 16 LVL

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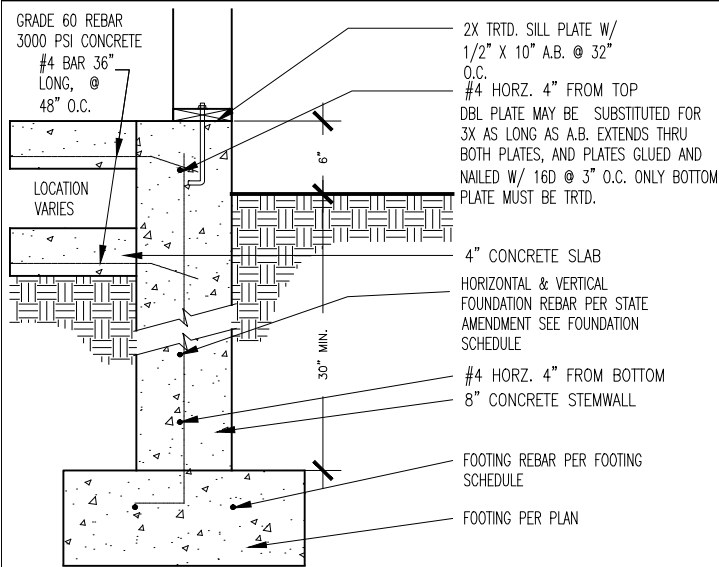
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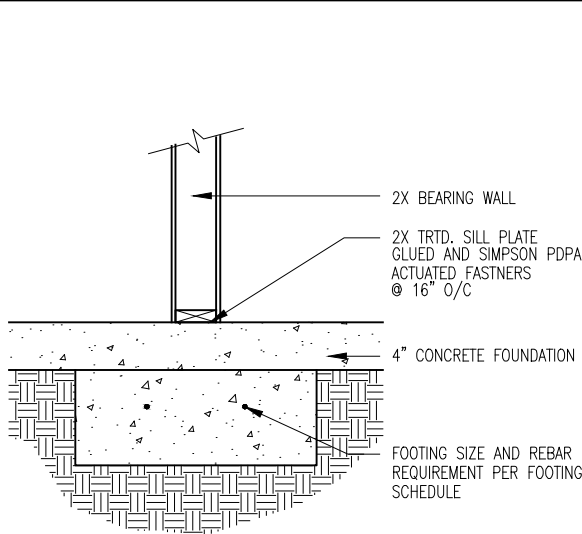
TITLE
ROOF FRAMING PLAN

S14



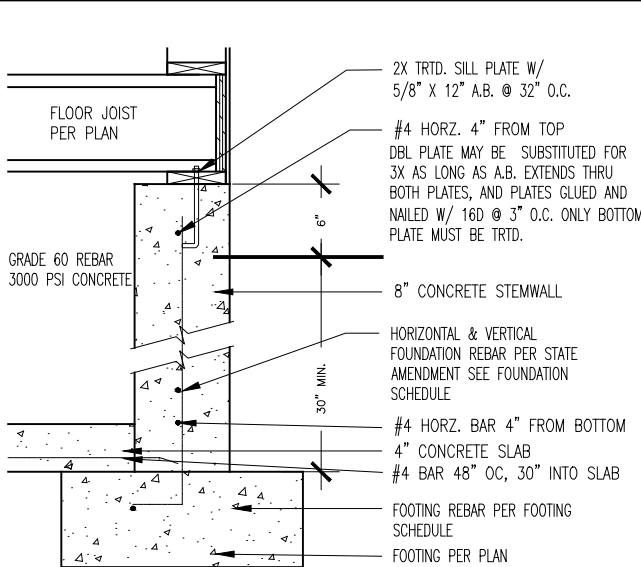
TYPICAL GARAGE/SLAB FOUNDATION DETAIL

SCALE: 3/4" = 1'-0"



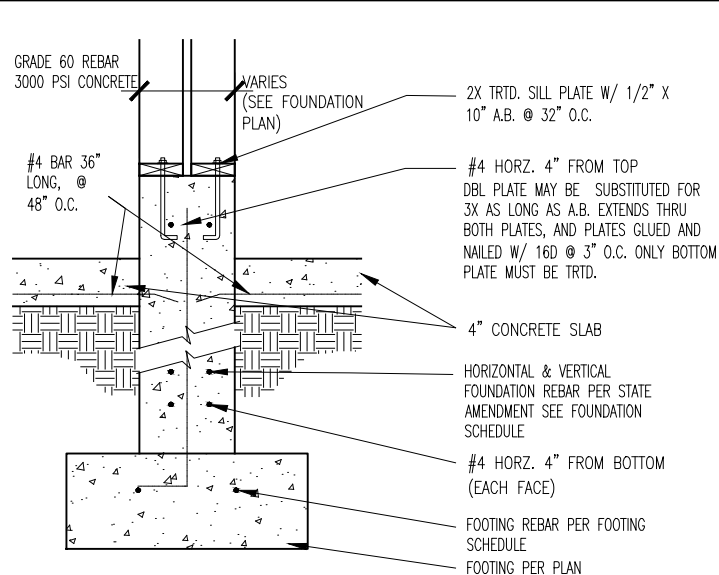
TYPICAL INTERIOR FOOTING DETAIL

SCALE: 3/4" = 1'-0"



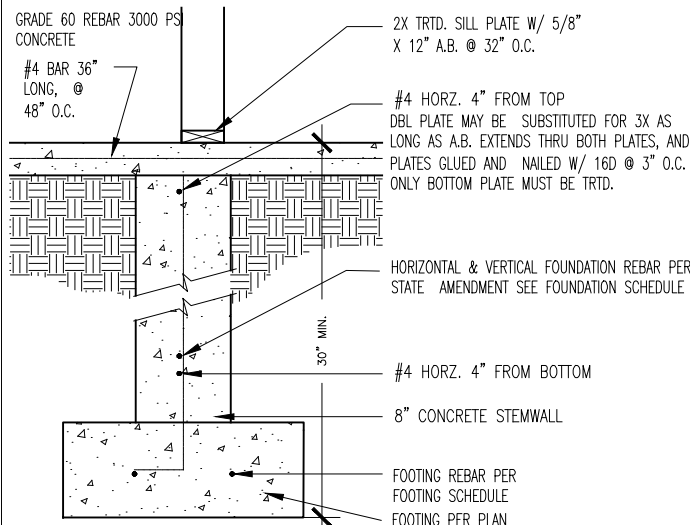
TYPICAL HOUSE FOUNDATION DETAIL

SCALE: 3/4" = 1'-0"



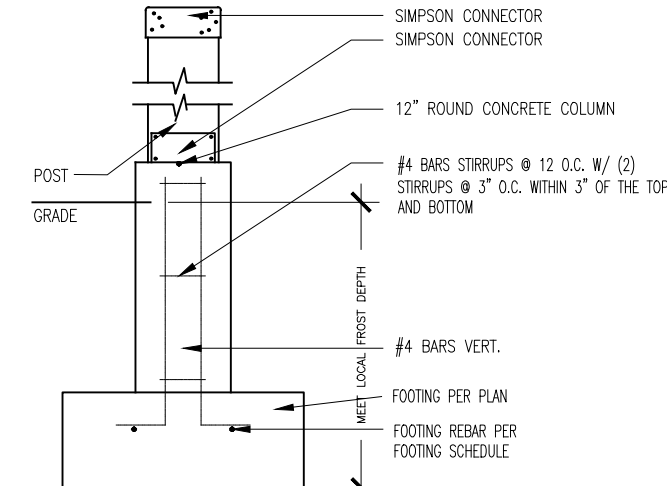
TYPICAL GARAGE FOUNDATION DETAIL

SCALE: 3/4" = 1'-0"



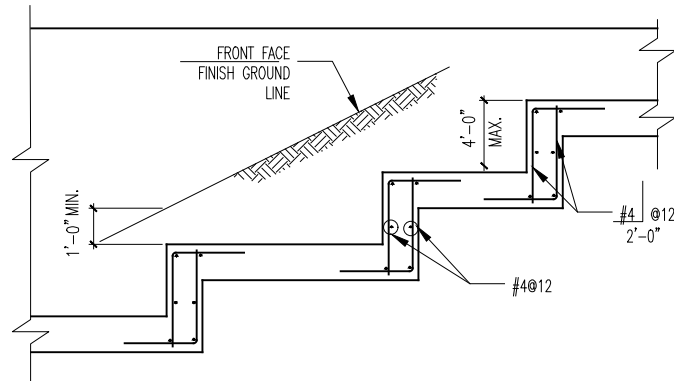
TYPICAL SLAB ON GRADE FOUNDATION DETAIL

SCALE: 3/4" = 1'-0"



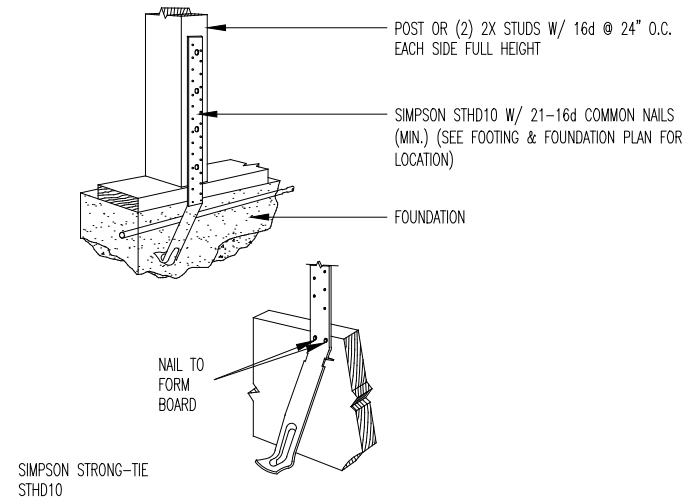
PATIO POST FOOTING DETAIL

SCALE: 3/4" = 1'-0"



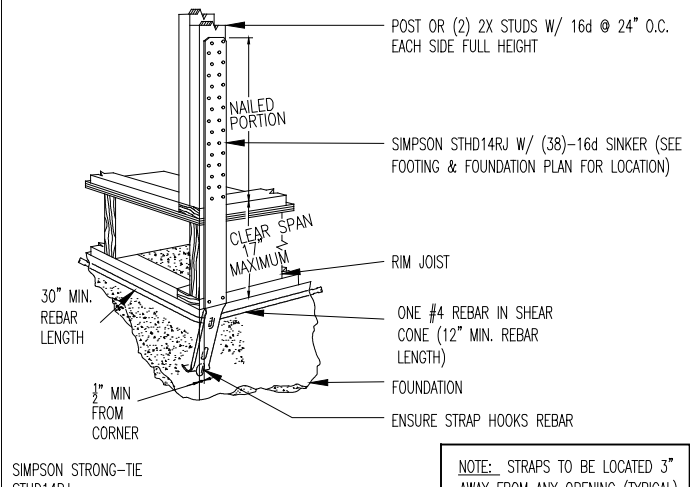
TYPICAL FOOTING STEP DETAIL

NOT TO SCALE



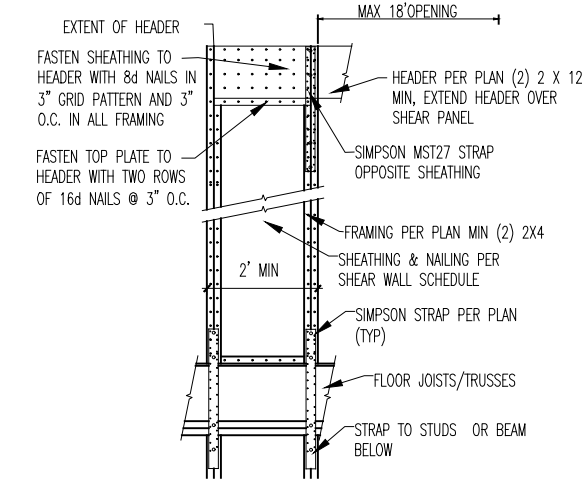
TYPICAL HOLDDOWN DETAIL @ SLAB

NOT TO SCALE



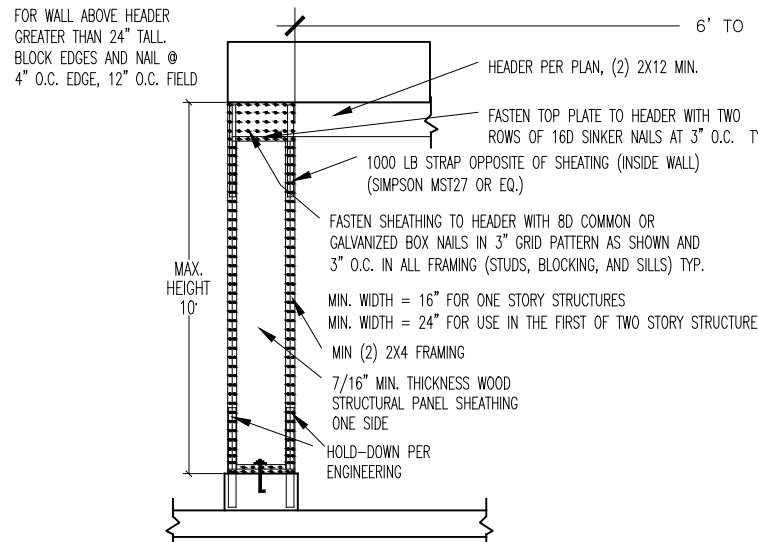
TYPICAL HOLDDOWN DETAIL @ FRAMING

NOT TO SCALE



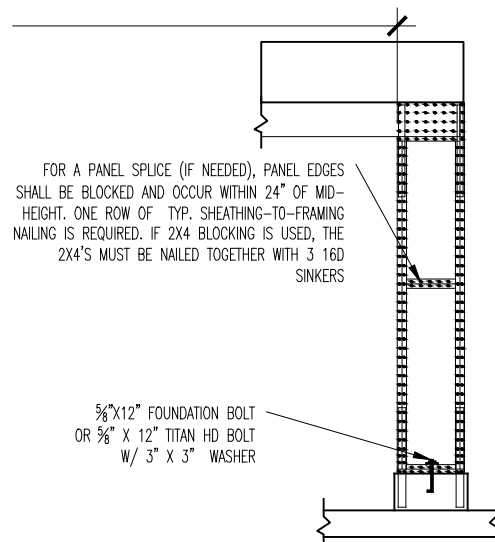
PORTAL FRAME UPPER FLOOR

NOT TO SCALE



PORTAL FRAME 1ST STORY

NOT TO SCALE



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Destination Homes

project:

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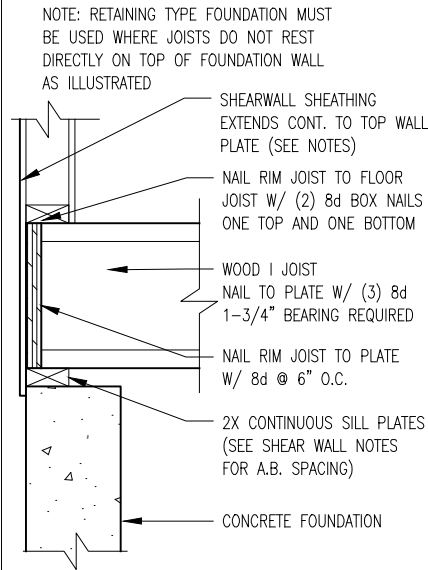
HOME BUYER
DESTINATION HOMES

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LOT NO: 0-000

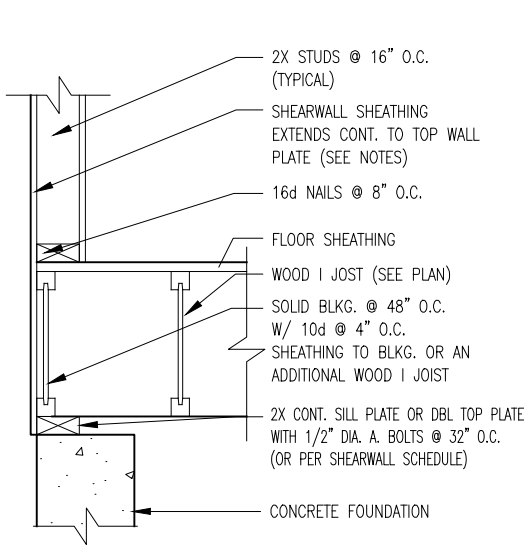
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CHECKED BY: TBD

TITLE
TYPICAL STRUCT. DETAILS

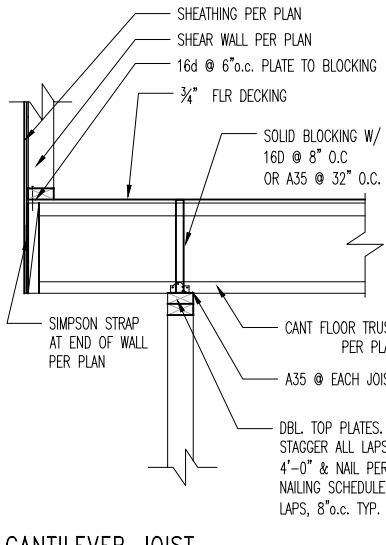
S21



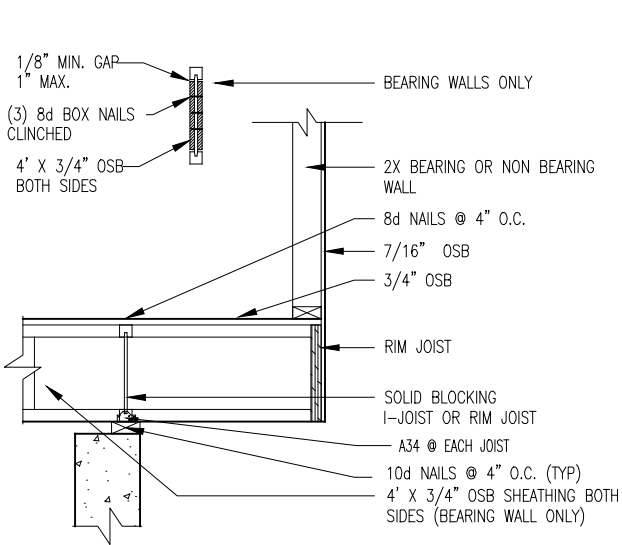
TYPICAL WOOD I JOIST DETAIL 1
SCALE: 3/4" = 1'-0"



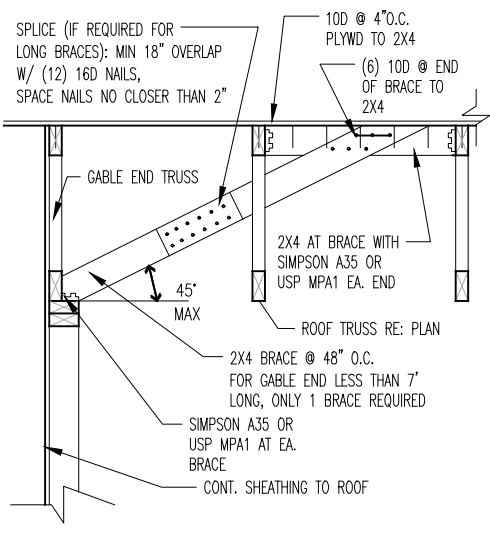
TYPICAL WOOD I JOIST DETAIL 2
SCALE: 3/4" = 1'-0"



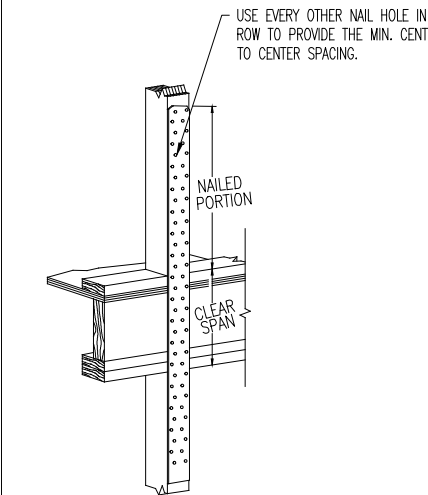
CANTILEVER JOIST WITH SHEAR WALL 3
NOT TO SCALE



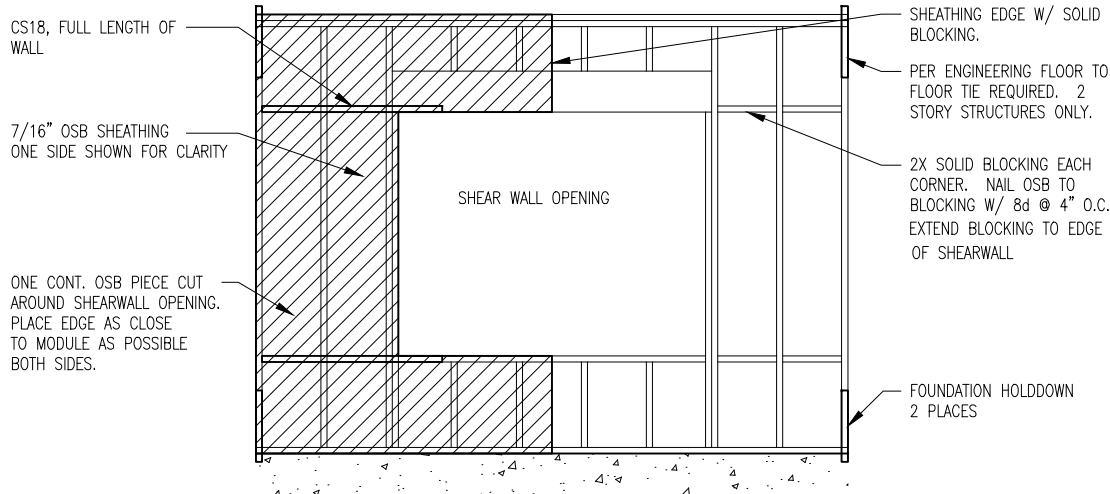
CANTILEVER DETAIL 4
NOT TO SCALE



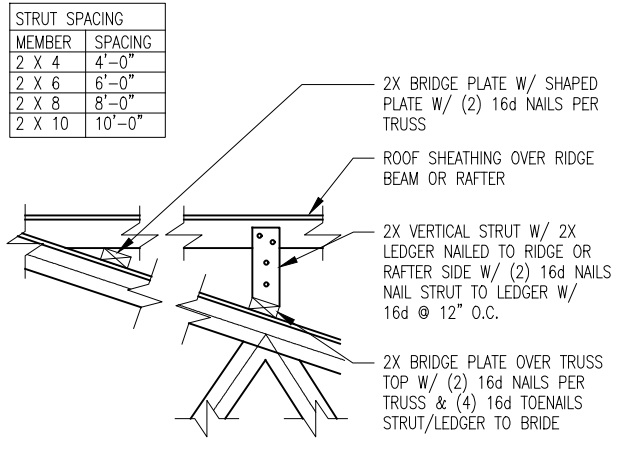
TYPICAL GABLE DETAIL 5
NOT TO SCALE



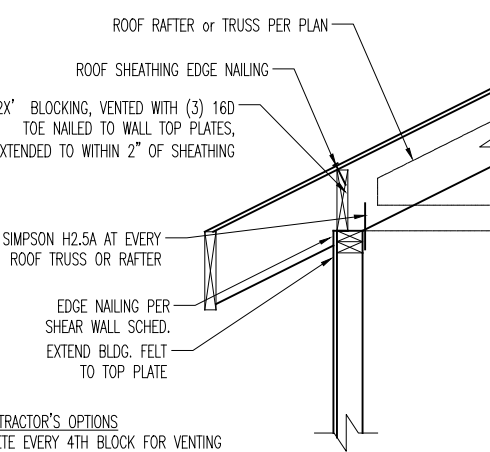
TYPICAL FLOOR TO FLOOR TIE DETAIL 6
NOT TO SCALE



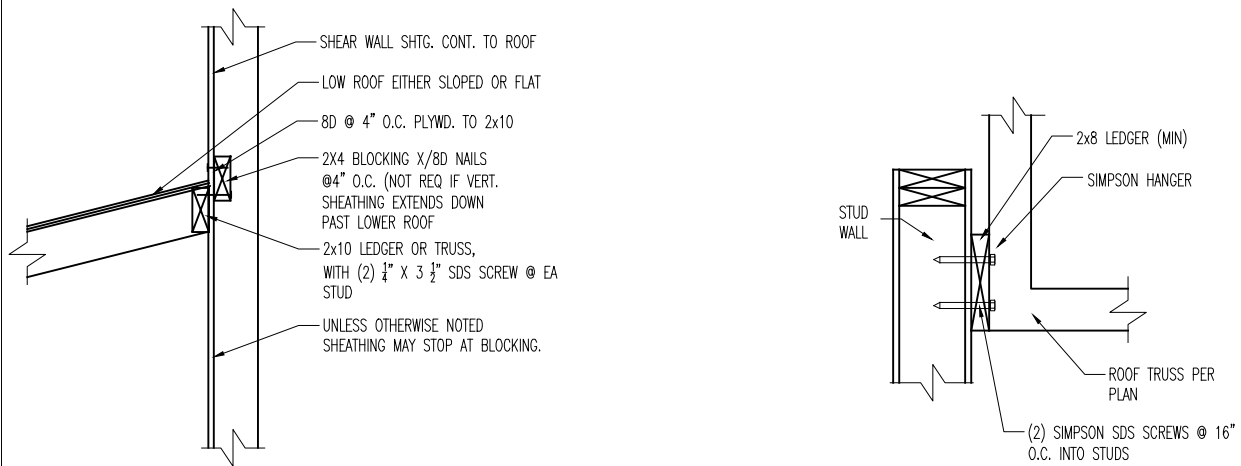
SHEAR WALL OPENING DETAIL 8
NOT TO SCALE



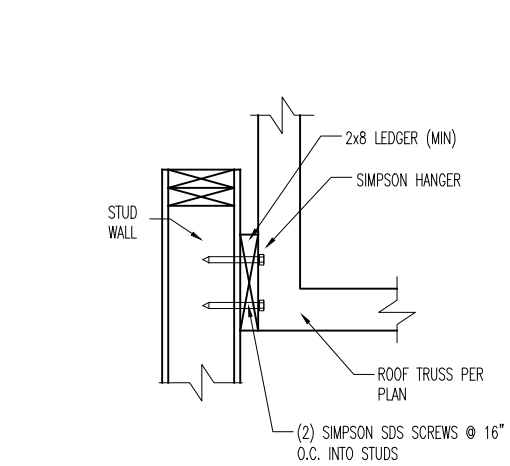
TYPICAL OVERBUILD DETAIL 9
NOT TO SCALE



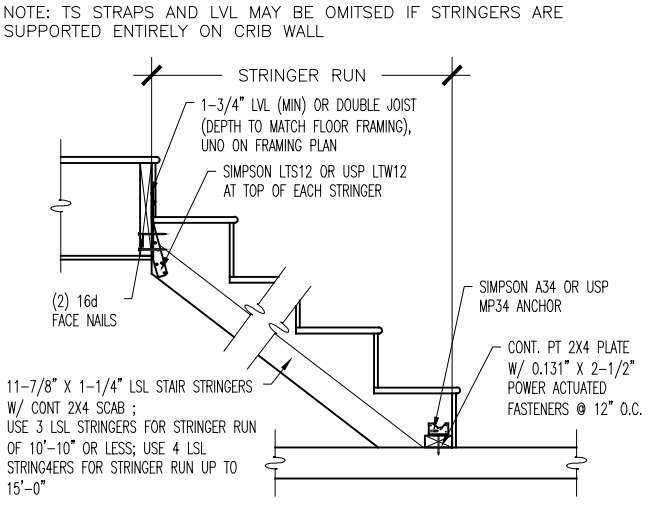
TYPICAL SHEAR TRANS. / ROOF EAVE 10
NOT TO SCALE



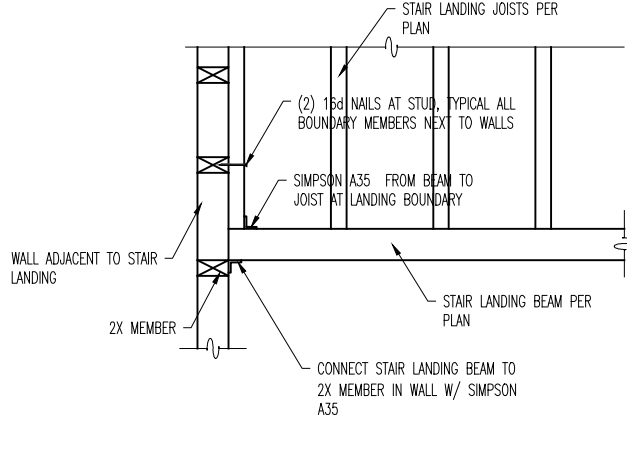
LOW ROOF SHEAR WALL 11
NOT TO SCALE



TRUSS LEDGER TO WALL 12
NOT TO SCALE



TYPICAL STAIR STRINGERS 13
SCALE: NONE USE ON ALL STAIRS UNLESS NOTED OTHERWISE ON PLANS



TYPICAL STAIR LANDING SUPPORT 14
SCALE: NONE (PARALLEL TO JOISTS)

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TYPICAL SHEAR WALL TO FLOOR
NOT TO SCALE

WOOD JOIST DETAIL
NOT TO SCALE

TYPICAL SHEARWALL TO FLOOR
NOT TO SCALE

TYPICAL SHEARWALL TO ROOF
NOT TO SCALE

LEDGER TO CONCRETE WALL
NOT TO SCALE

LEDGER TO WALL
NOT TO SCALE

JOIST TO FLOOR JOIST
NOT TO SCALE

TIMBER FRAME AT SHED ROOF
NOT TO SCALE

DECK LEDGER DETAIL
NOT TO SCALE

BEARING WALLS TO BE CONSTRUCTED AS FOLLOWS:	
HEIGHT	STUD FRAMING
0' TO 12'	2x4's @ 16" o.c.
12' TO 18'	2x6's @ 16" o.c.
18' TO 20'	2x6's @ 12" o.c.

WALLS TALLER THAN 20' AND/OR WALLS WITH LARGE OPENINGS TO BE SPECIFIED BY ENGINEER.

USE 2 X 6 STUDS FOR ALL BEARING WALLS
MORE THAN TWO FLOOR OR ROOF DIAPHRAGMS

MINIMUM SIZES SHOWN, UNLESS NOTED OTHERWISE
ON PLANS

DECK LEDGER ATTACHMENT DETAIL
NOT TO SCALE

TYPICAL SHEAR WALL TRANSITION AT FLOOR, TYP.
SCALE: $3/4" = 1'-0"$ (PERPENDICULAR TO JOISTS)

TYPICAL SHEAR WALL TRANSITION AT FLOOR, TYP. 13
SCALE: $3/4" = 1'-0"$ (PARALLEL TO JOISTS)

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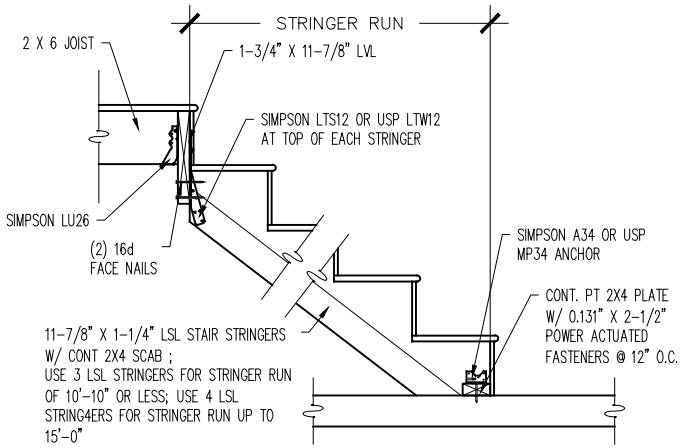
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TYPICAL STRUCT. DETAILS

S2|3

NOTE: TS STRAPS AND LVL MAY BE OMITTED IF STRINGERS ARE SUPPORTED ENTIRELY ON CRIB WALL

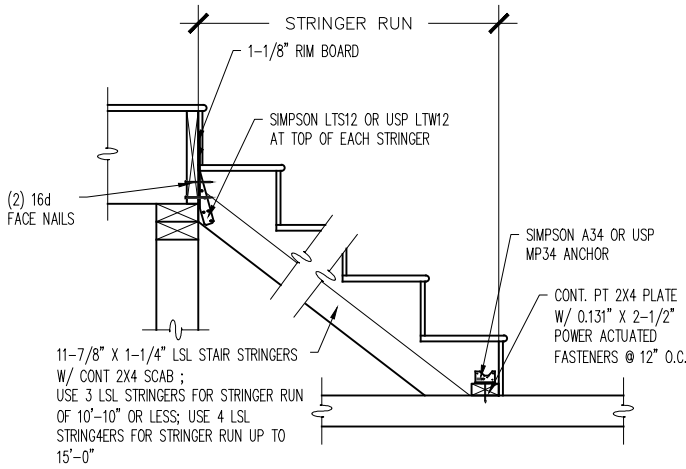


STAIR LANDING

SCALE: NONE USE ON ALL STAIRS UNLESS NOTED OTHERWISE ON PLANS

1

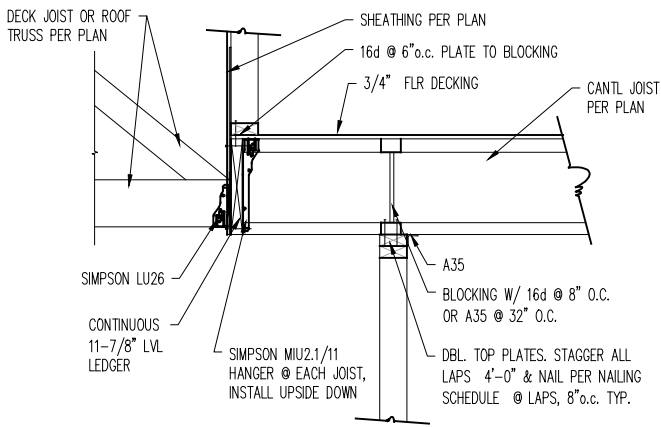
NOTE: TS STRAPS AND LVL MAY BE OMITTED IF STRINGERS ARE SUPPORTED ENTIRELY ON CRIB WALL



STAIRS AT BEARING WALL

SCALE: NONE USE ON ALL STAIRS UNLESS NOTED OTHERWISE ON PLANS

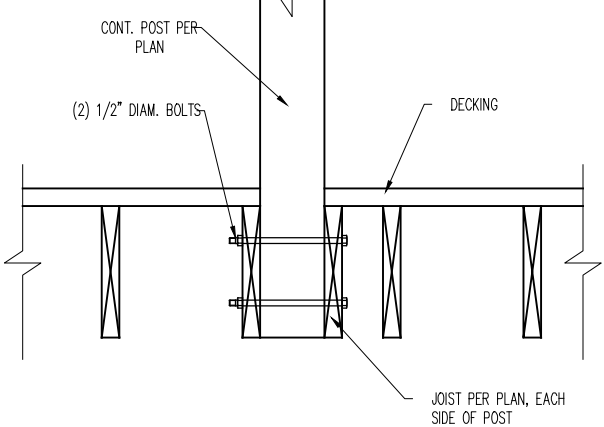
2



CANTILEVER JOISTS W/ LEDGER

SCALE: NONE

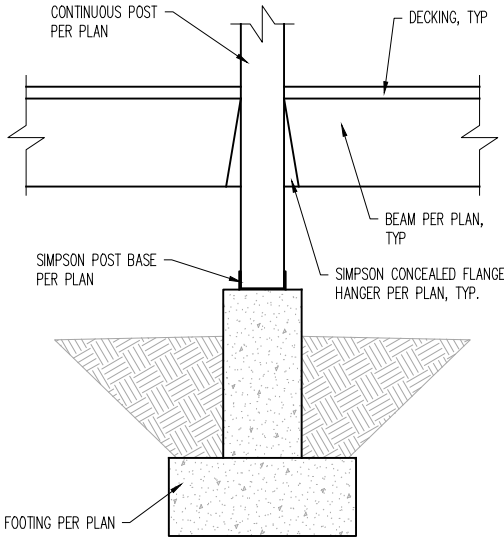
3



TRELLIS POST TO JOIST

SCALE: NONE

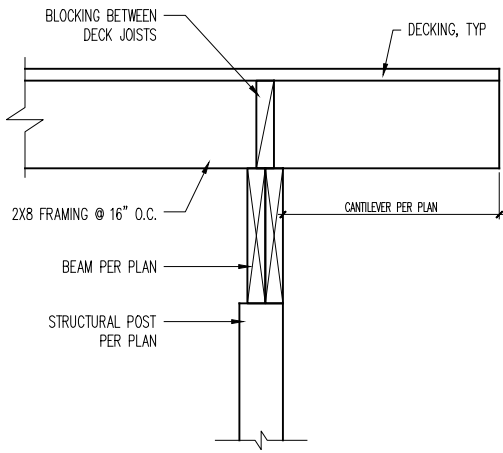
4



CONT. POST W/ BEAM ON SIDE

SCALE: NONE

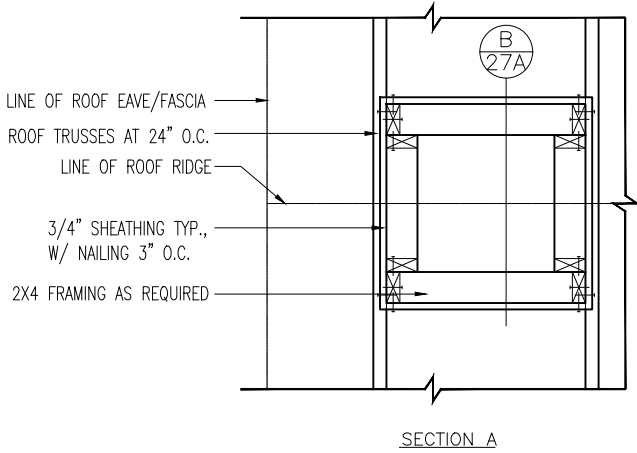
5



CANTILEVERED DECK

SCALE: NONE

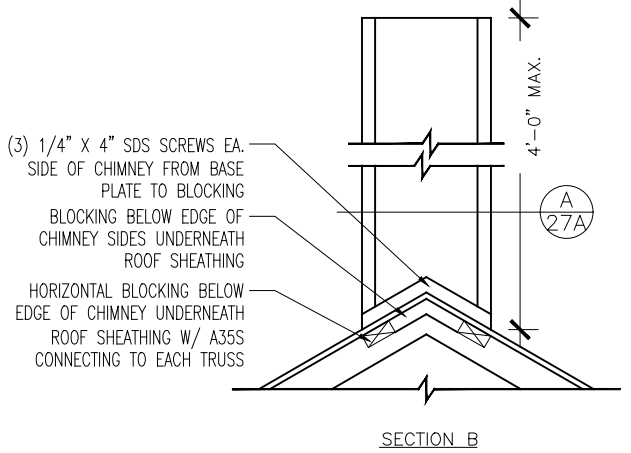
6



CHIMNEY FRAMING

SCALE: NONE

7



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